



Arlington Zoning Board of Appeals

Date: Tuesday, May 11, 2021
Time: 7:30 PM
Location: Conducted by remote participation
Additional Details:

Agenda Items

Administrative Items

1. **Remote Participation Details**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Baker's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: <https://www.mass.gov/doc/open-meeting-law-order-march-12-2020/download>

You are invited to a Zoom meeting.

When: May 11, 2021 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDIrH9BzpU_mQMF2y5Ys20gtIBP9

After registering, you will receive a confirmation email containing information about joining the meeting.

Meeting ID: 965 4216 9154

Find your local number: <https://town-arlington-ma-us.zoom.us/j/adNWeNXzLr>

Dial by Location: 1-646-876-9923 US (New York)

Hearings

2. **Docket # 3657: 12 Christine Road**
3. **Docket # 3655: 34 Marathon Sreet**
4. **Docket # 3656: 53 Pine Ridge Road**

Meeting Adjourn



Town of Arlington, Massachusetts

Docket # 3657: 12 Christine Road

ATTACHMENTS:

Type	File Name	Description
<input type="checkbox"/> Reference Material	ZBA_Package__12_Christine_Road.pdf	ZBA Package, 12 Christine Road



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Villandry Construction Company** of Arlington, Massachusetts on March 23, 2021, a petition seeking permission to alter their property located at **12 Christine Road - Block Plan 120.0-0013-0007.0** Said petition would require a Special Permit under **Section 5.3.9 (A) (Projections into Minimum Yards)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening May 11, 2021 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

[https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDIrH9BzpU_mQMF2y5Ys20gtlBP9)

[upqDIrH9BzpU_mQMF2y5Ys20gtlBP9](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDIrH9BzpU_mQMF2y5Ys20gtlBP9) **for documentation relating to this petition, visit the ZBA website at www.arlington.gov/zba.**

DOCKET NO 3657

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of 12 Christine Rd Arlington - Roof on front porch
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

Renovated front porch with roof to project 5'
from house and 20' wide, not to extend beyond
the side of the house. Existing porch is small
and uncovered / No roof

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 12 Christine Rd with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

Porch roof will have protection from rain, sleet
a snow, it will be create more esthetically
pleasing curb appeal for neighborhood.

E-Mail: fcarreiroavillandrycontracting.com Signed: FL Date: 3/11/2021
Telephone: 781-643-2186 Address: 32 Prentiss Rd Arlington

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

Residential Single family detached dwelling
(Art 81, 87, ATM 4/80 1.01 District R0
Special Permit Art 86, ATM 3/7/79, Art 6, ATM 4/09 with
regard to front . . . yards greater than the minimum required. . .

B). Explain why the requested use is essential or desirable to the public convenience or welfare.

Porch with roof as proposed will provide a porch
protected from snow rain & sleet improving safety
Design provides more esthetically pleasing curb appeal

C). Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

New Porch projects 5' from existing house
which currently has 25' setback

D). Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

New Porch will provide minimal additional water
Collection. Will provide protection from elements

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

plot plans attached with new set backs

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

Cause little or no impact on the neighborhood
other than Improved esthetics and protection
for porch from elements

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

New Covered Porch will not cause an excess of use
of the front Set back as it only projects out
Slightly more than existing uncovered porch.

TOWN OF ARLINGTON
Dimensional and Parking Information
For Applications to the Zoning Board of Appeals

1. Property Location: 12 Christine Rd Zoning District: R1
2. Present Use/Occupancy: Single family No. of dwelling units Single
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
11 Sq. Ft.
4. Proposed Use/Occupancy: Single family No. of dwelling units Single
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning	
6. Lot size (Sq. Ft.)	6,762		min.	
7. Frontage (Ft.)			min.	
8. Floor area ratio			max.	
9. Lot Coverage (%)	0.00%	0.00%	max	0.00%
10. Lot Area per Dwelling Unit (Sq. Ft.)			min.	
11. Front Yard Depth (Ft.)			min.	
12. Left Side Yard Depth (Ft.)			min.	
13. Right Side Yard Depth (Ft.)			min.	
14. Rear Yard Depth (Ft.)			min.	
15. Height (Stories)			max.	
16. Height (Ft.)			max.	
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.				
17A. Landscaped Open Space (% of GFA)	0.00%	0.00%	min.	0.00%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.				
18A. Usable Open Space (% of GFA)	0.00%	0.00%	min.	0.00%
19. Number of Parking Spaces			min.	
20. Parking area setbacks (if applicable)			min.	
21. Number of Loading Spaces (if applicable)			min.	
22. Type of construction			N/A	
23. Slope of proposed roof(s) (in. per ft.)		Wood	min.	

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 12 Christine Rd Zoning District: RO/R1

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>No applicable for</u>	<u></u>
Open Space, Usable	<u>open porch with roof</u>	<u></u>
Open Space, Landscaped	<u></u>	<u></u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building	<u></u>	<u></u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u></u>	<u></u>
1 st Floor	<u></u>	<u></u>
2 nd Floor	<u></u>	<u></u>
3 rd Floor	<u></u>	<u></u>
4 th Floor	<u></u>	<u></u>
5 th Floor	<u></u>	<u></u>
Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)	<u></u>	<u></u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u></u>	<u></u>
All weather habitable porches and balconies	<u></u>	<u></u>
Total Gross Floor Area (GFA)	<u></u>	<u></u>

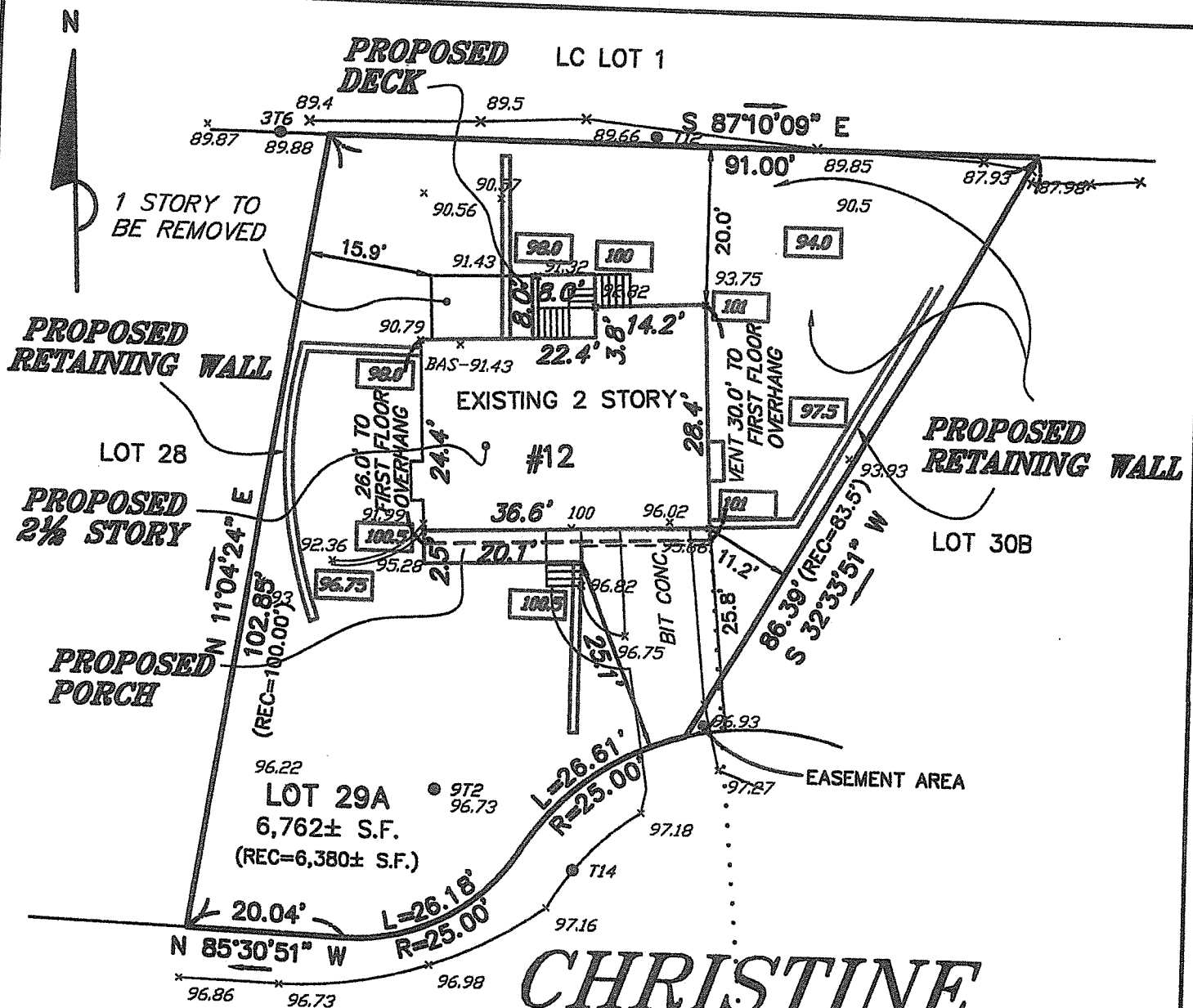
† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u></u>	<u></u>
Landscaped Open Space (% of GFA)	<u>0.00%</u>	<u>0.00%</u>
Usable Open Space (Sq. Ft.)	<u></u>	<u></u>
Usable Open Space (% of GFA)	<u>0.00%</u>	<u>0.00%</u>

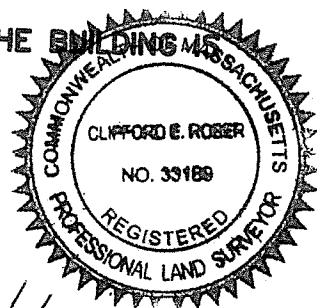
This worksheet applies to plans dated 3/11/2021 designed by AFAB Custom Home Designs

Reviewed with Building Inspector: _____ Date: _____



OWNER: RITA McMAHON

I HEREBY CERTIFY THAT THE BUILDING IS
LOCATED AS SHOWN.



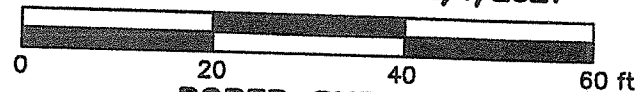
CLIFFORD E. ROBER, PLS

DATE

THIS PLAN MAY HAVE BEEN ALTERED IF
THE SIGNATURE IS NOT SIGNED IN BLUE.

PROPOSED PLOT PLAN
#12 CHRISTINE ROAD
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)


SCALE: 1" = 20' **DATE: 2/1/2021**



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533

6350PP1.DWG

10 of 53

 <div>The Commonwealth of Massachusetts Board of Building Regulations and Standards Massachusetts State Building Code, 7th edition Building Permit Application To Construct, Repair, Renovate Or Demolish a <i>One- or Two-Family Dwelling</i></div>		FOR MUNICIPALITY USE <i>Revised January 1, 2008</i>	
This Section For Official Use Only			
Building Permit Number: _____		Date Applied: _____	
Signature: _____ Building Commissioner/ Inspector of Buildings Date			
SECTION 1: SITE INFORMATION			
1.1 Property Address: <i>12 Christine Rd</i>		1.2 Assessors Map & Parcel Numbers	
1.1a Is this an accepted street? yes <input checked="" type="checkbox"/> no _____		Map Number _____ Parcel Number _____	
1.3 Zoning Information: Zoning District _____ Proposed Use _____		1.4 Property Dimensions: Lot Area (sq ft) _____ Frontage (ft) _____	
1.5 Building Setbacks (ft)			
Front Yard		Side Yards	
Required	Provided	Required	Provided
1.6 Water Supply: (M.G.L c. 40, § 54) Public <input checked="" type="checkbox"/> Private <input type="checkbox"/>		1.7 Flood Zone Information: Zone: _____ Outside Flood Zone? Check if yes <input type="checkbox"/>	
		1.8 Sewage Disposal System: Municipal <input checked="" type="checkbox"/> On site disposal system <input type="checkbox"/>	
SECTION 2: PROPERTY OWNERSHIP ¹			
2.1 Owner ¹ of Record: <i>12 Christine Rd LLC</i> Name (Print) _____ <i>FL</i> Signature _____		<i>12 Christine Rd</i> Address for Service: _____ <i>781-583-8292</i> Telephone _____	
SECTION 3: DESCRIPTION OF PROPOSED WORK ² (check all that apply)			
New Construction <input type="checkbox"/>	Existing Building <input checked="" type="checkbox"/>	Owner-Occupied <input type="checkbox"/>	Repairs(s) <input checked="" type="checkbox"/>
Demolition <input type="checkbox"/>	Accessory Bldg. <input type="checkbox"/>	Number of Units _____	Alteration(s) <input checked="" type="checkbox"/> Addition <input type="checkbox"/>
Other <input type="checkbox"/> Specify: _____			
Brief Description of Proposed Work ² : <i>Roof on Front Porch</i>			
SECTION 4: ESTIMATED CONSTRUCTION COSTS			
Item	Estimated Costs: (Labor and Materials)	Official Use Only	
1. Building	\$ <i>3,000</i>	1. Building Permit Fee: \$ _____ Indicate how fee is determined:	
2. Electrical	\$ _____	<input type="checkbox"/> Standard City/Town Application Fee	
3. Plumbing	\$ _____	<input type="checkbox"/> Total Project Cost ³ (Item 6) x multiplier _____ x _____	
4. Mechanical (HVAC)	\$ _____	2. Other Fees: \$ _____	
5. Mechanical (Fire Suppression)	\$ _____	List: _____	
6. Total Project Cost:	\$ _____	Total All Fees: \$ _____	
		Check No. _____ Check Amount: _____ Cash Amount: _____	
		<input type="checkbox"/> Paid in Full <input type="checkbox"/> Outstanding Balance Due: _____	

SECTION 5: CONSTRUCTION SERVICES

5.1 Licensed Construction Supervisor (CSL)

Fernando Carreiro

Name of CSL Holder

17 Dickson Ave

Address

Signature

781-583-8292

Telephone

069317

License Number

5/9/2021

Expiration Date

List CSL Type (see below)

Type	Description
U	Unrestricted (up to 35,000 Cu. Ft.)
R	Restricted 1&2 Family Dwelling
M	Masonry Only
RC	Residential Roofing Covering
WS	Residential Window and Siding
SF	Residential Solid Fuel Burning Appliance Installation
D	Residential Demolition

5.2 Registered Home Improvement Contractor (HIC)

Villandry Contracting Inc

HIC Company Name or HIC Registrant Name

32 Prentiss Rd

Address

Signature

Telephone

101269

Registration Number

6/24/2022

Expiration Date

SECTION 6: WORKERS' COMPENSATION INSURANCE AFFIDAVIT (M.G.L. c. 152, § 25C(6))

Workers Compensation Insurance affidavit must be completed and submitted with this application. Failure to provide this affidavit will result in the denial of the Issuance of the building permit.

Signed Affidavit Attached?

Yes

No

SECTION 7a: OWNER AUTHORIZATION TO BE COMPLETED WHEN OWNER'S AGENT OR CONTRACTOR APPLIES FOR BUILDING PERMIT

I, Fernando Carreiro, as Owner of the subject property hereby authorize 12 Christine LLC to act on my behalf, in all matters relative to work authorized by this building permit application.

Signature of Owner

3/12/2021

Date

SECTION 7b: OWNER¹ OR AUTHORIZED AGENT DECLARATION

I, Fernando Carreiro, as Owner or Authorized Agent hereby declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge and behalf.

Print Name

Signature of Owner or Authorized Agent

(Signed under the pains and penalties of perjury)

3/12/2021

Date

NOTES:

1. An Owner who obtains a building permit to do his/her own work, or an owner who hires an unregistered contractor (not registered in the Home Improvement Contractor (HIC) Program), will not have access to the arbitration program or guaranty fund under M.G.L. c. 142A. Other important information on the HIC Program and Construction Supervisor Licensing (CSL) can be found in 780 CMR Regulations 110.R6 and 110.R5, respectively.

2. When substantial work is planned, provide the information below:

Total floors area (Sq. Ft.)

Gross living area (Sq. Ft.)

Number of fireplaces

Number of bathrooms

Type of heating system

Type of cooling system

Habitable room count

Number of bedrooms

Number of half/baths

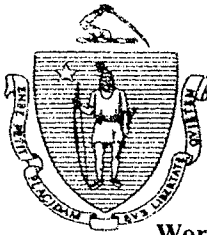
Number of decks/ porches

Enclosed

Open

3. "Total Project Square Footage" may be substituted for "Total Project Cost"

12 of 53



The Commonwealth of Massachusetts
Department of Industrial Accidents
Office of Investigations
600 Washington Street, 7th Floor
Boston, Mass. 02111

Workers' Compensation Insurance Affidavit: Building/Plumbing/Electrical Contractors

Applicant information:

Please PRINT legibly

name: Villandry Contracting Inc
address: 32 Prentiss Rd
city: Arlington state: Ma zip: 02476 phone #: 781-583-8292

work site location (full address): 12 Christine Rd Arlington, Ma 02474
☐ I am a homeowner performing all work myself. Project Type: ☐ New Construction ☐ Remodel
☐ I am a sole proprietor and have no one working in any capacity. ☐ Building Addition
☒ I am an employer providing workers' compensation for my employees working on this job.

company name: Villandry Contracting
address: 32 Prentiss Rd
city: Arlington, Ma phone #: 781-583-8292
insurance co. Selective Ins policy #: WC 9059851

☐ I am a sole proprietor, general contractor, or homeowner (circle one) and have hired the contractors listed below who have the following workers' compensation policies:

company name:
address:
city: phone #:
insurance co. policy #

company name:
address:
city: phone #:
insurance co. policy #

Attach additional sheet if necessary

Failure to secure coverage as required under Section 25A of MGL 152 can lead to the imposition of criminal penalties of a fine up to \$1,500.00 and/or one years' imprisonment as well as civil penalties in the form of a STOP WORK ORDER and a fine of \$100.00 a day against me. I understand that a copy of this statement may be forwarded to the Office of Investigations of the DIA for coverage verification.

I do hereby certify under the pains and penalties of perjury that the information provided above is true and correct.

Signature: [Signature] Date: 3/12/2021
Print name: Fernando Carreiro Phone #: 781-583-8292

official use only do not write in this area to be completed by city or town official

city or town: permit/license # ☐ Building Department
☐ Licensing Board
☐ Selectmen's Office
☐ Health Department
☐ Other
contact person: phone #: (revised Sept. 2003)



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
11/10/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER		CONTACT NAME:	
SALEM FIVE INSURANCE SERVICES LLC		PHONE (A/C, No, Ext): 781-933-3100	
445 MAIN ST		FAX (A/C, No):	
WOBURN MA 01801-4298		E-MAIL ADDRESS:	
		INSURER(S) AFFORDING COVERAGE	
		INSURER A: SELECTIVE INS CO OF THE SOUTHEAST	
		INSURER B: SELECTIVE INS CO OF SOUTH CAROLINA	
		INSURER C:	
		INSURER D:	
		INSURER E:	
		INSURER F:	

COVERAGES	CERTIFICATE NUMBER:	REVISION NUMBER:
-----------	---------------------	------------------

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.


INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
B	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY	<input checked="" type="checkbox"/>	S 2377560	11/1/2020	11/1/2021	EACH OCCURRENCE \$ 1,000,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000
						MED EXP (Any one person) \$ 15,000
						PERSONAL & ADV INJURY \$ 1,000,000
						GENERAL AGGREGATE \$ 3,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:					PRODUCTS - COMP/OP AGG \$ 3,000,000
	<input checked="" type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC					\$
	OTHER:					
	AUTOMOBILE LIABILITY					COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO					BODILY INJURY (Per person) \$
	<input type="checkbox"/> OWNED AUTOS ONLY					BODILY INJURY (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS ONLY					PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY					\$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB	<input checked="" type="checkbox"/>	S 2377560	11/1/2020	11/1/2021	EACH OCCURRENCE \$ 2,000,000
	<input type="checkbox"/> EXCESS LIAB					AGGREGATE \$ 2,000,000
	<input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000					\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	Y/N	WC 9059851	11/1/2020	11/1/2021	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)					E.L. EACH ACCIDENT \$ 500,000
	If yes, describe under DESCRIPTION OF OPERATIONS below					E.L. DISEASE - EA EMPLOYEE \$ 500,000
						E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

This Certificate of Liability Insurance was created by Selective on behalf of the agent.

Town of Arlington is included as additional insured with respect to General Liability as required by written contract or agreement.

CERTIFICATE HOLDER	CANCELLATION
Town of Arlington 51 Grove Street Arlington MA 02476	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE Roll C [Signature]



Commonwealth of Massachusetts

Division of Professional Licensure

Board of Building Regulations and Standards

Construction Supervisor


CS-069317

FERNANDO M CARREIRO

17 DICKSON AVE

ARLINGTON MA 02474

Expires: 05/09/2021



Commissioner *Fernando M. Carreiro*

The Commonwealth of Massachusetts
Office of Consumer Affairs & Business Regulation
HOME IMPROVEMENT CONTRACTOR


TYPE: Corporation
Registration 101269
Expiration 06/24/2022

VILLANDRY CONTRACTING INC.

FERNANDO F. CARREIRO
32 PRENTISS RD
ARLINGTON, MA 02476

Edward A. Pelletier
Undersecretary

Registration valid for individual use only
before the expiration date. If found return to:
Office of Consumer Affairs and Business Regulation
1000 Washington Street - Suite 710
Boston, MA 02118



Not valid without signature

12 CHRISTINE RD



12 CHRISTINE RD

12
9

VINYL SIDING OVER
TYVEK OR EQ. HOUSEWRAP
(TYP.)

GH RAILING
BALUSTERS
O.C. (TYP.)

ATTICE PANEL
D SURROUND
(L)

ETAINING WALL-
CT SIZE, LOCATION
AND MATERIAL
O BE VERIFIED.
SIGN BY OTHERS)

6X6 .40 P.T. POSTS
ON SIMPSON ABU66 BASES ON
1'-0" DIAM. CONC. PIERS ON
3'-0" DIAM. CONC. FILLED
BIGFOOT BELL FOOTINGS.
BOTTOM OF FOOTING
4'-0" BELOW GRADE (MIN)

4'-0"

APPROX. GRADE

18 of 53

LEFT ELEVATION

VILLANDRY
PROPOSED AD
12 C
ARI



AFAB ENTERPRISES
PO BOX 916
BURLINGTON, MA
01803

OFFICE (781)272-2156

FAX (781)229-6394

WWW.AFABHOMES.COM

PAGE


1



Town of Arlington, Massachusetts

Docket # 3655: 34 Marathon Sreet

ATTACHMENTS:

Type	File Name	Description
 Reference Material	ZBA_Package__34_Marathon_Street.pdf	ZBA Package, 34 Marathon Street



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **Francis and Rita McGovern** of Arlington, Massachusetts on March 23, 2021, a petition seeking permission to alter their property located at **34 Marathon Street - Block Plan 025.0-0002-0004.0** Said petition would require a Special Permit under **Section 8.1.3 (B) (Nonconforming Single-Family or Two-Family Dwellings)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening May 11, 2021 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20gtlBP9 **for documentation relating to this petition, visit the ZBA website at www.arlington.gov/zba.**

DOCKET NO 3655

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

In the matter of the Application of Francis J. & Rita E. McGovern
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance
with Section 10.11 of the Zoning Bylaw for the Town of Arlington,
seeking relief from the following specific provisions of the Zoning
Bylaw, and as described fully in the attached form, Special Permit
Criteria:

Permission to build out 2 dormers on the
Left side of the 3rd floor of dwelling to increase
usable space.

The Petitioner/Applicant states he/she/they is/are the owner -
occupant of the land in Arlington located at 34 Marathon Street
with respect to such relief is sought; that no unfavorable action Arlington,
has been taken by the Zoning Board of Appeals or its predecessors MA
upon a similar petition regarding this property within the two (2)
years next immediately prior to the filing hereof. The applicant
expressly agrees to full compliance with any and all conditions and
qualifications imposed upon this permission, whether by the Zoning
Bylaw or by the Zoning Board of Appeals, should the same be
granted. The Applicant represents that the grounds for the relief
sought are as follows:

This Request has been granted to many
other homes in this neighborhood and is compatible
with the architectural features in scale and materials
with neighboring structures.

E-Mail fmcgovern@mgh.harvard.edu, betsybradymcgovern@gmail.com
Signed _____ Date: _____

Telephone 339.223.2400 Address 19 Highland Avenue
Lexington, MA 02421
21 of 53

TOWN OF ARLINGTON
Dimensional and Parking Information
For application to The Zoning Board of Appeals

1. Property Location: 34 Marathon Street Zoning District: R2
2. Present Use/Occupancy: Residential No. of dwelling units (if residential) 2
3. Existing Gross Floor Area (see definition of Gross Floor Area (GFA) in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor: . 5538
4. Proposed Use/Occupancy: Residential No. of dwelling units (if residential) 2
5. Proposed Gross Floor Area (see definition of Gross Floor Area in Article 2 of the Town of Arlington Zoning Bylaw and provide supporting documentation (worksheet) showing dimensions of GFA by floor): . 6376

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (sq. ft.)	5000 sq ft	same	min.
7. Frontage (ft.)	50 ft	same	min.
8. Floor area ratio	.55	.66	max.
9. Lot Coverage (%)	.20	.20	max
10. Lot Area per Dwelling Unit (Sq. ft.)			min.
11. Front Yard Depth (ft.)	23' 2"	23' 2"	min.
12. Left Side Yard Depth (ft.)	13.5'	13.5'	min.
13. Right Side Yard Depth (ft.)	6'	6'	min.
14. Rear Side Yard Depth (ft.)	30.2	30.2	min.
15. Height (stories)	2 1/2		max.
16. Height (ft.)	32'	32'	max.
17. Landscaped Open Space (% of GFA) Sq. ft. _____	3265	3265	min.
18. Usable Open Space (% of GFA) Sq. ft. _____	3265	3265	min.
19. Parking Spaces (number)	n/a		min.
20. Parking area setbacks	n/a		min.
21. Loading Spaces (if applicable)	n/a		min.
22. Type of construction	wood	wood	

OPEN SPACE/GROSS FLOOR AREA

Refer to Zoning Bylaw Article 2, Definitions and Article 6, Dimensional Regulations

Address 34 Marathon Street

Zoning District R 2

OPEN SPACE

	EXISTING	PROPOSED
Total lot area	<u>5000 sq ft</u>	<u>5000 sq ft</u>
Open Space (Usable)*	<u>814.4 sq ft</u>	<u>Same</u>
Open Space (Landscaped)	<u>60 sq feet</u>	<u>Same</u>

*Usable Open Space must be at least 75% open to the sky, free of automotive, traffic and parking, and readily accessible. Open space shall be deemed usable only if : 1) at least 75% of the area has a grade of less than 8% and no horizontal dimension less than 25 feet.

GROSS FLOOR AREA (GFA)

Accessory building		
Basement or cellar (>5' excluding mechanical area)	<u>100 sq ft</u>	<u>100 sq feet</u>
1 st Floor	<u>1017 sq ft</u>	<u>Same</u>
2 nd Floor	<u>1017 sq ft</u>	<u>Same</u>
3 rd Floor	<u>186 sq ft</u>	<u>705 sq ft</u>
4 th Floor		
5 th Floor		
Attic (>7'3" in height, excluding elevator, mechanical)	<u>(see 3rd floor)</u>	
Parking garages (except as used for accessory Parking garages or off street loading purposes)	<u>16'x20' 320 sq ft</u>	<u>same</u>
All weather habitable porches and balconies	<u>448 sq ft</u>	<u>448 sq ft</u>
Total Gross Floor Area (GFA)	<u>2769 sq ft</u> <u>.55</u>	<u>3288 sq ft</u> <u>.66</u>

REQUIRED MINIMUM OPEN SPACE AREA

Proposed Usable Open Space Percent of GFA	<u>3265 sq ft</u>
Proposed Landscaped Open Space Percent of GFA	<u>3265 sq ft</u>

This worksheet applies to plans dated 1/15/2019 designed by Rober Survey

Reviewed by Inspectional Services _____ Date: _____

Special Permit Criteria- The following standards must be addressed and met for the grant of a Special Permit:

1). Indicate where the use requested is listed in the Table of Use Regulations as a Special Permit in the district for which the application is made or is so designated elsewhere in the Arlington Zoning Bylaw.

use regulation of residential purpose as
a continued 2 family dwelling in an R2
zoned district.

2). Describe how the requested use is essential or desirable to the public convenience or welfare.

The request to dormer the 3rd floor on the
left side of dwelling will allow for more usable
space for residential use and a 2nd bathroom for the
upper unit which is currently 3 bedrooms.

3). Describe how the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.

This use will not alter the traffic congestion and
will not impair pedestrian safety.

4). Describe how the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.

This dwelling will remain a 2-family. The existing
driveway will allow for necessary parking off street. The same
number of Bedrooms will not change the use of the sewer system.
It will make for greater convenience for the 2nd unit dwellers.

5). Describe how any special regulations for the use, set forth in Article 11, are fulfilled.

This remains a 2-family in an area designated R2

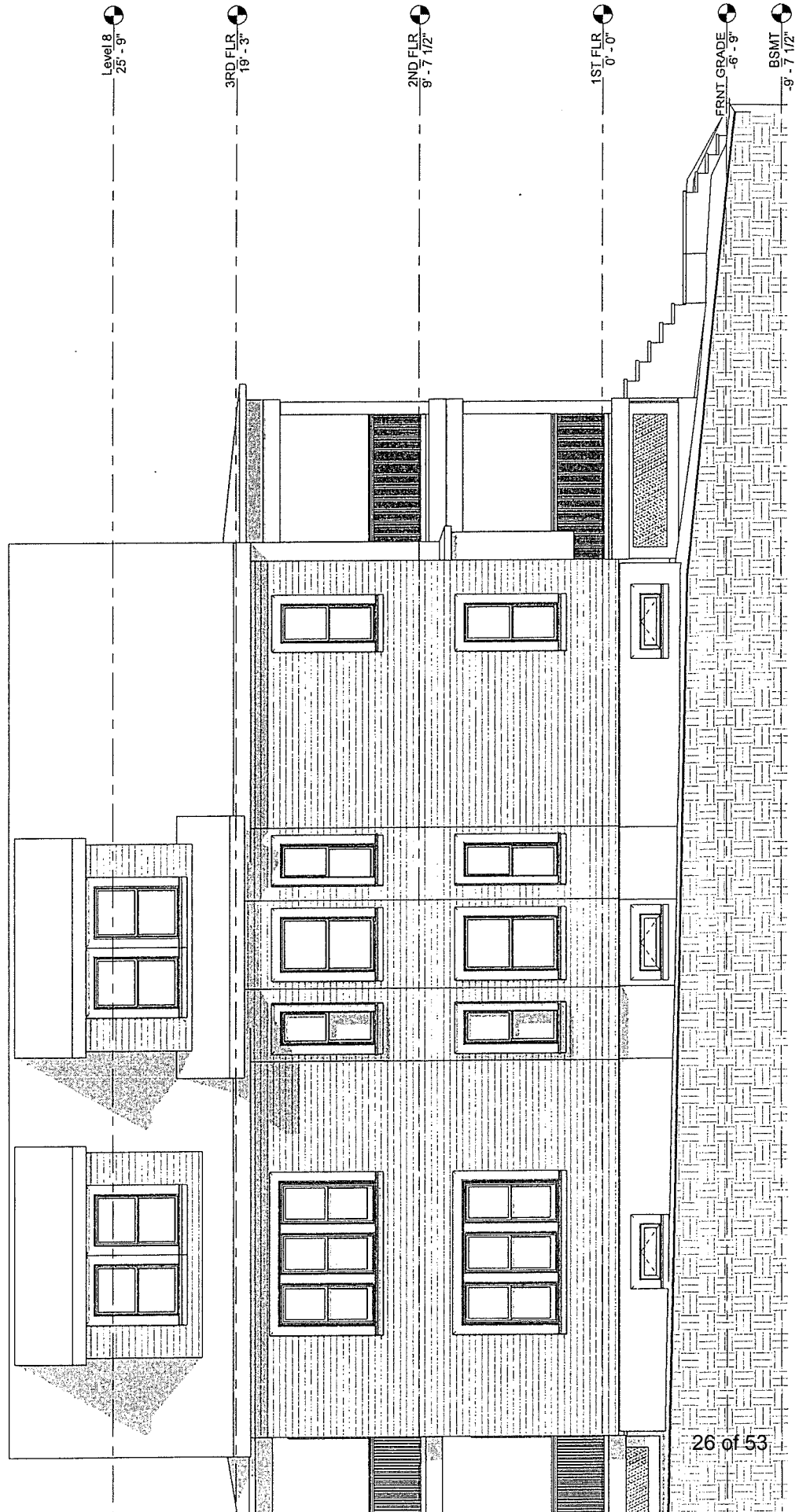
6). Describe how the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.

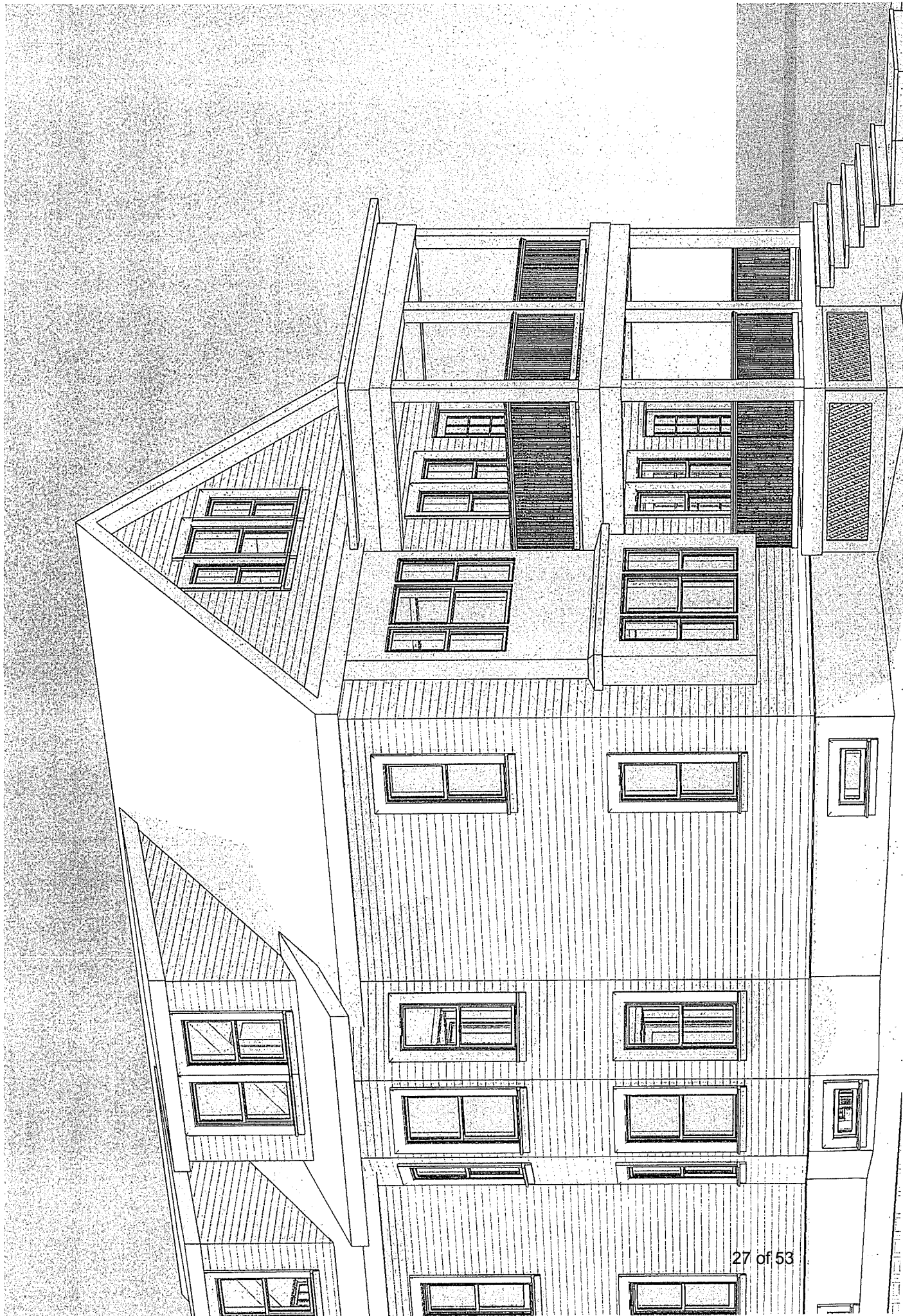
The requested addition of dormers will keep the
structure compatible with existing neighborhood
characteristics.

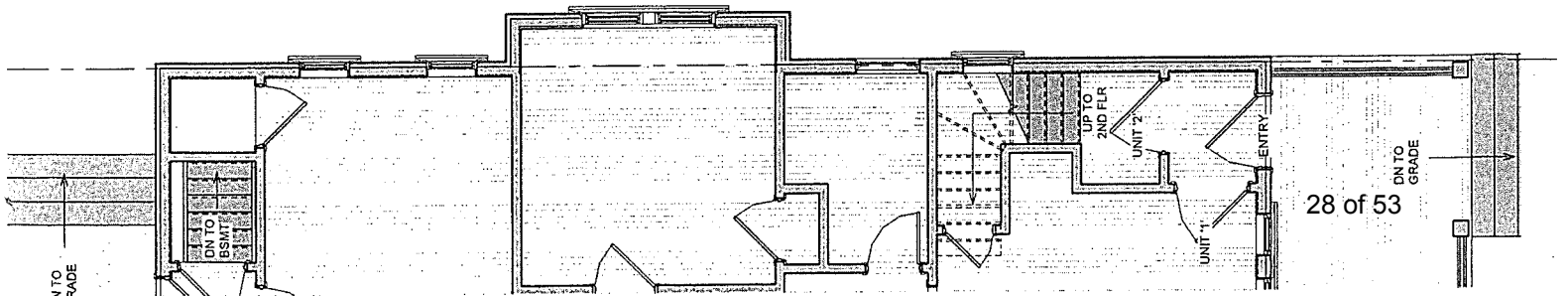
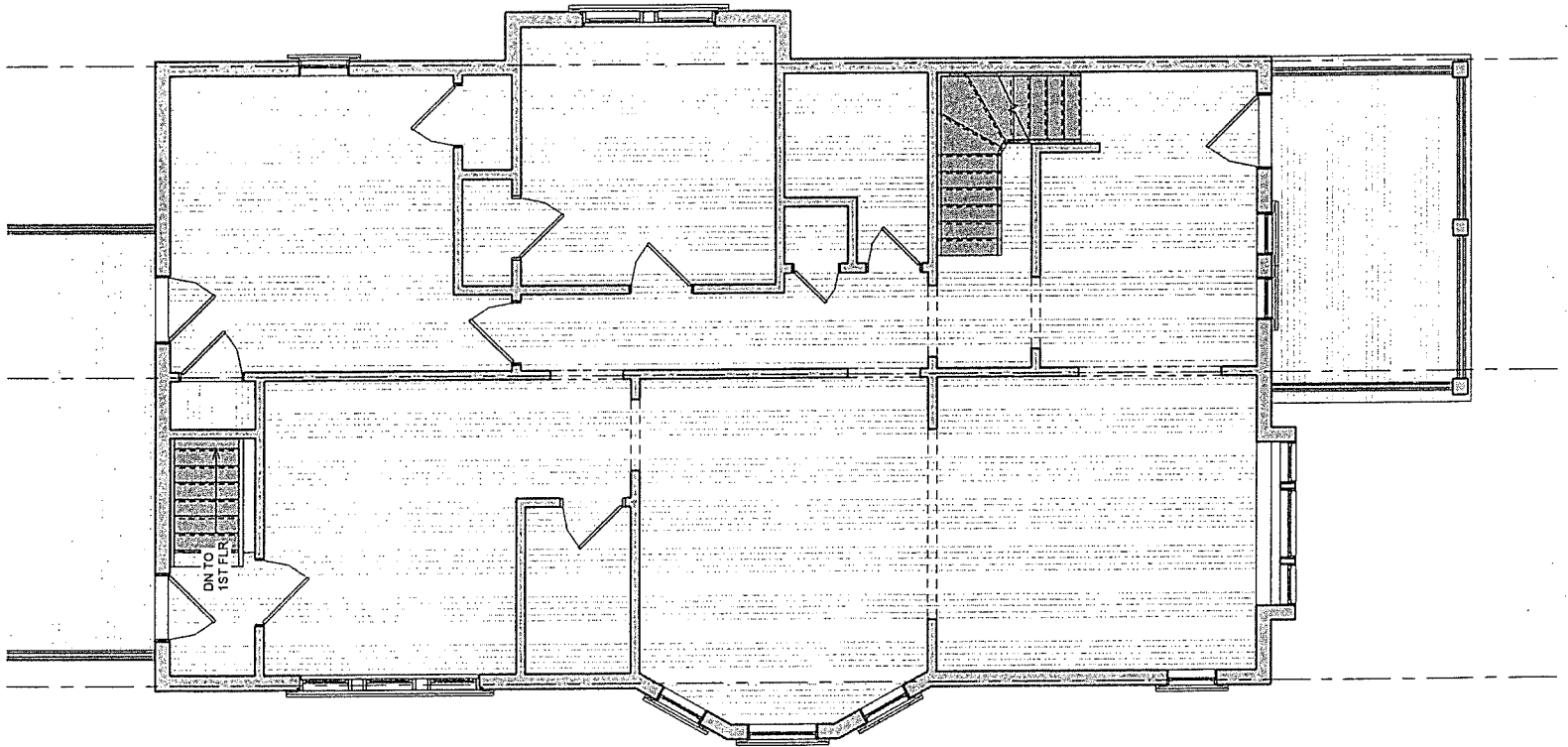
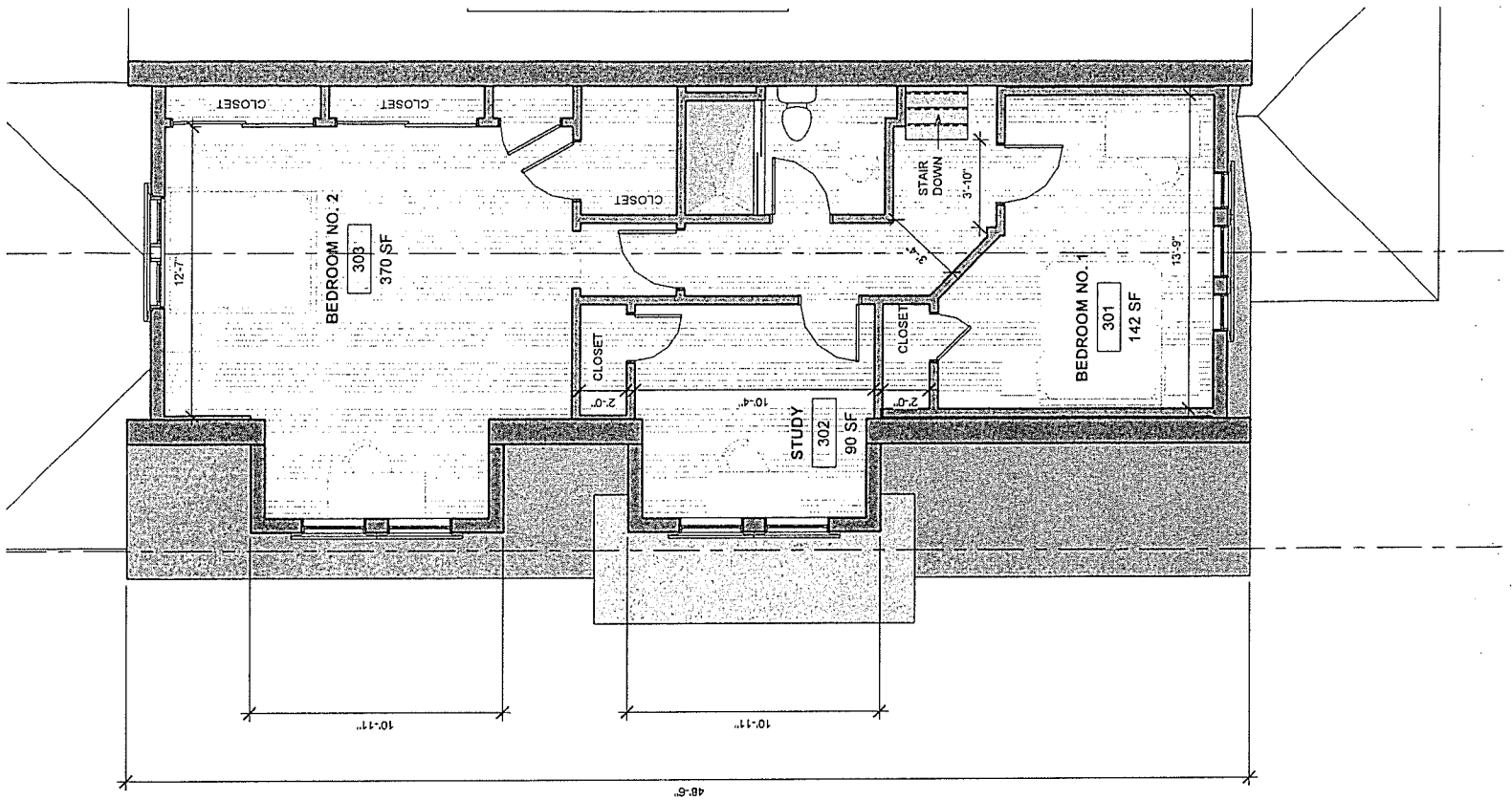
7). Describe how the requested use will not, by its addition to a neighborhood, cause an excess of that particular use that could be detrimental to the character of said neighborhood.

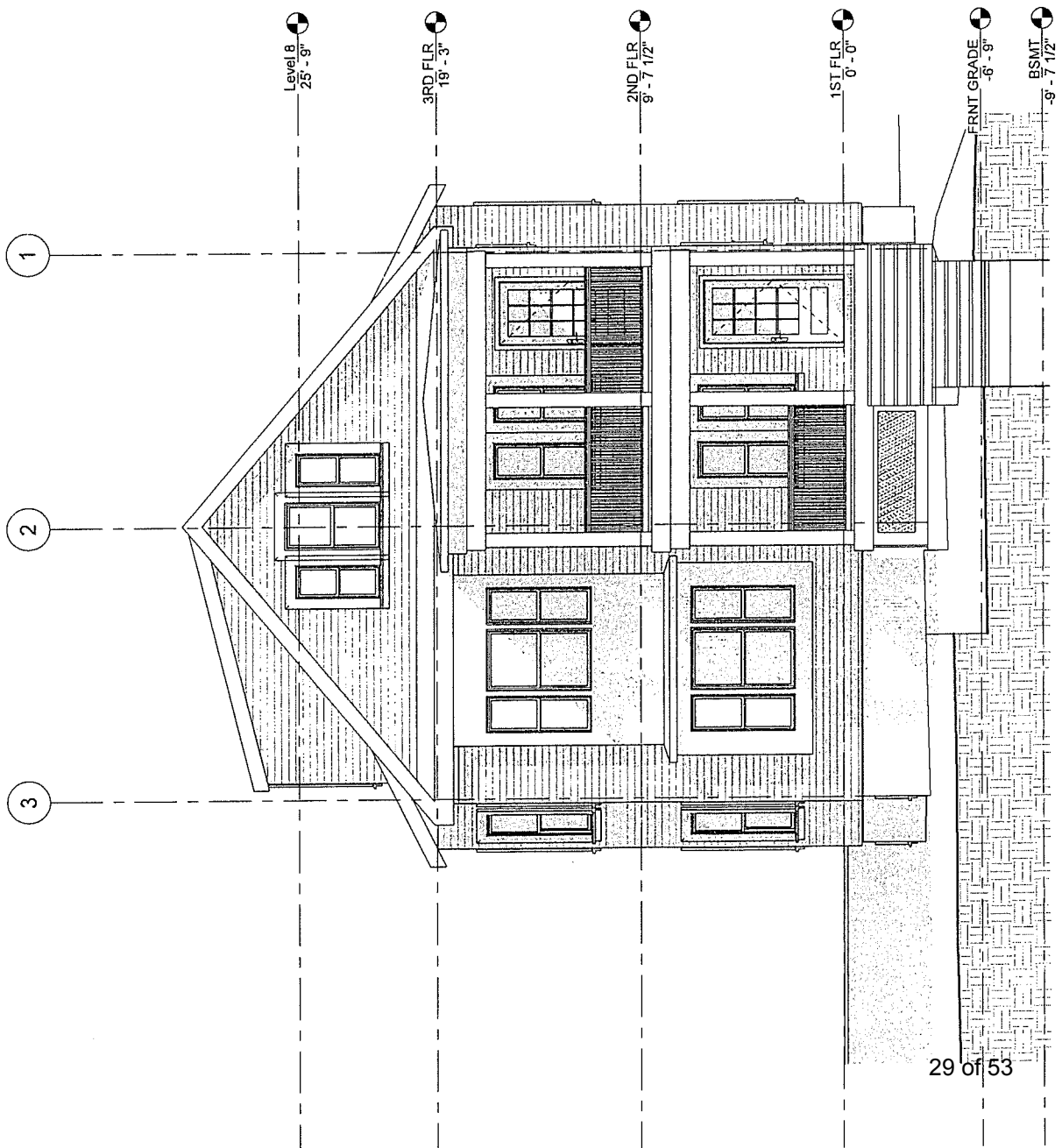
There will be no detriment to the character of the neighborhood.

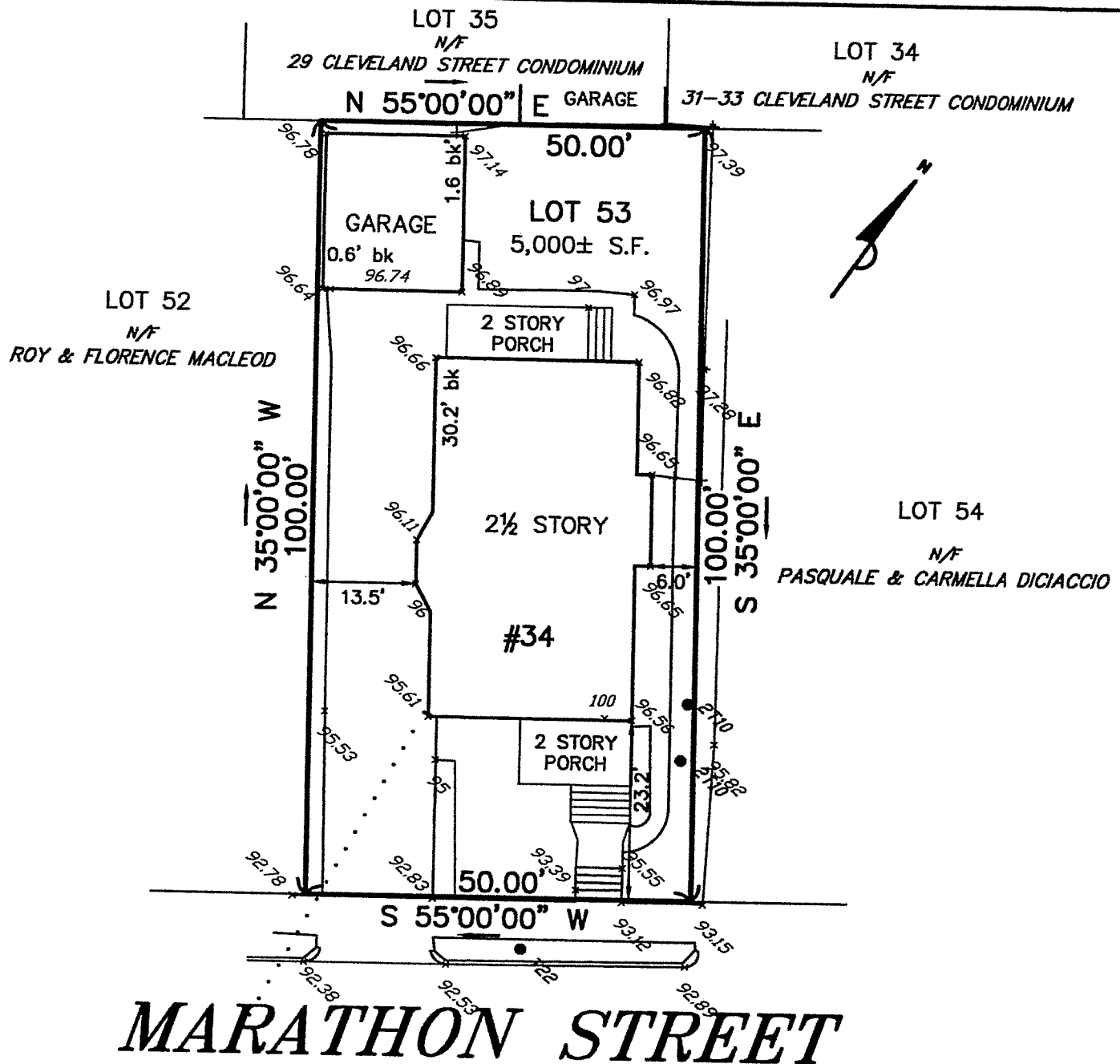
Will will improve the exterior appearance of the house will Residing and repairs to trim and to insulate the house which will lower the carbon footprint of this dwelling.













Town of Arlington, Massachusetts

Docket # 3656: 53 Pine Ridge Road

ATTACHMENTS:

Type	File Name	Description
▣ Reference Material	ZBA_Package__53_Pine_Ridge_Road.pdf	ZBA Package, 53 Pine Ridge Road



Town of Arlington
Zoning Board of Appeals
51 Grove Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.3A of the Zoning Bylaws that there has been filed by **David Potere** of Arlington, Massachusetts on March 23, 2021, a petition seeking permission to alter his property located at **53 Pine Ridge Road - Block Plan 147.0-0001-0001.0** Said petition would require a Special Permit under **Section 5-18 / (5.4.2B,6) Districts & Uses** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening May 11, 2021 at 7:30 P.M or as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**

[https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20qtIBP9)

[upqDlrH9BzpU_mQMF2y5Ys20qtIBP9](https://town-arlington-ma-us.zoom.us/meeting/register/tJloc-upqDlrH9BzpU_mQMF2y5Ys20qtIBP9) **for documentation relating to this petition, visit the ZBA website at www.arlington.gov/zba.**

DOCKET NO 3656

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**

REQUEST FOR SPECIAL PERMIT

TOWN OF ARLINGTON

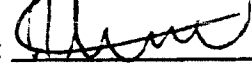
In the matter of the Application of 53 Pine Ridge Road
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

5.4.2 B (6) No alteration or addition which increases the gross floor area of a building by 750 square feet or more, or by 50% or more of the building's gross floor area on the date of application for a permit or because of cumulative alterations or additions during the previous two years, shall be allowed unless ...

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at 53 Pine Ridge Road with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

The use of the property will not change. The proposed project confirms with all zoning bylaws except that a special permit is required for the size of the addition. The addition will be in keeping with the character of the existing building and the neighborhood context.

E-Mail: david.potere@gmail.com Signed:  Date: 23 MARCH 2021
Telephone: 617.860.798.7519 Address: 119 LAKE ST. UNIT #2 ARLINGTON MA 02474

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board’s determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

The building is a single family house, allowed by right. The use will not change.

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

The building is a single family house, allowed by right. The use will not change.

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

The building is a single family house, allowed by right. The use will not change.

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

The building is a single family house, allowed by right. The use will not change.

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

The building is a single family house, allowed by right. The use will not change.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

The proposed changes and additions to the house are designed to harmonize with the existing
structure. The materials and details will match the existing house. The use will not change.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The building is a single family house, allowed by right. The use will not change.

TOWN OF ARLINGTON
Dimensional and Parking Information
For Applications to the Zoning Board of Appeals

1. Property Location: 53 Pine Ridge Road Zoning District: R1

2. Present Use/Occupancy: Residence No. of dwelling units 1

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
3129 Sq. Ft.

4. Proposed Use/Occupancy: Residence No. of dwelling units 1

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
4951 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	9,412	9,412.00	min. 6,000
7. Frontage (Ft.)	188	188	min. 60
8. Floor area ratio	0.33	0.53	max. 0.00
9. Lot Coverage (%)	14.70%	18.24%	max 35.00%
10. Lot Area per Dwelling Unit (Sq. Ft.)	9,412	9,412	min. 0
11. Front Yard Depth (Ft.)	48	48	min. 25
12. Left Side Yard Depth (Ft.)	18	18	min. 25
13. Right Side Yard Depth (Ft.)	37	11	min. 10
14. Rear Yard Depth (Ft.)	22	22	min. 20
15. Height (Stories)	3	3	max. 3
16. Height (Ft.)	30.4	30.4	max. 35.0
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	4,832.00	3,921.00	
17A. Landscaped Open Space (% of GFA)	154.43%	79.20%	min. 0.00%
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	3,771.00	2,860.00	
18A. Usable Open Space (% of GFA)	120.52%	57.77%	min. 0.00%
19. Number of Parking Spaces			min.
20. Parking area setbacks (if applicable)			min.
21. Number of Loading Spaces (if applicable)	9,412	9,412.00	min. 6,000
22. Type of construction	5	5	N/A
23. Slope of proposed roof(s) (in. per ft.)	6.5	6.5	min.

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 53 Pine Ridge Road Zoning District: R1

<u>OPEN SPACE*</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Total lot area	<u>9412</u>	<u>9412</u>
Open Space, Usable	<u>3,771.00</u>	<u>2,860.00</u>
Open Space, Landscaped	<u>4,832.00</u>	<u>3,921.00</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

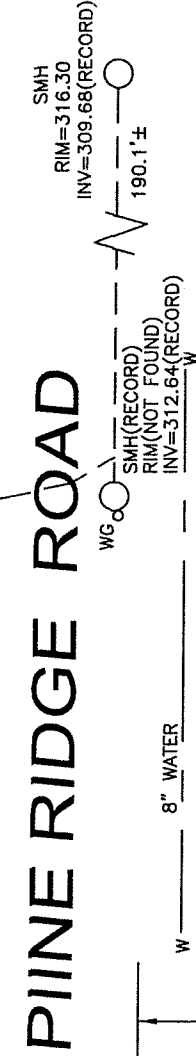
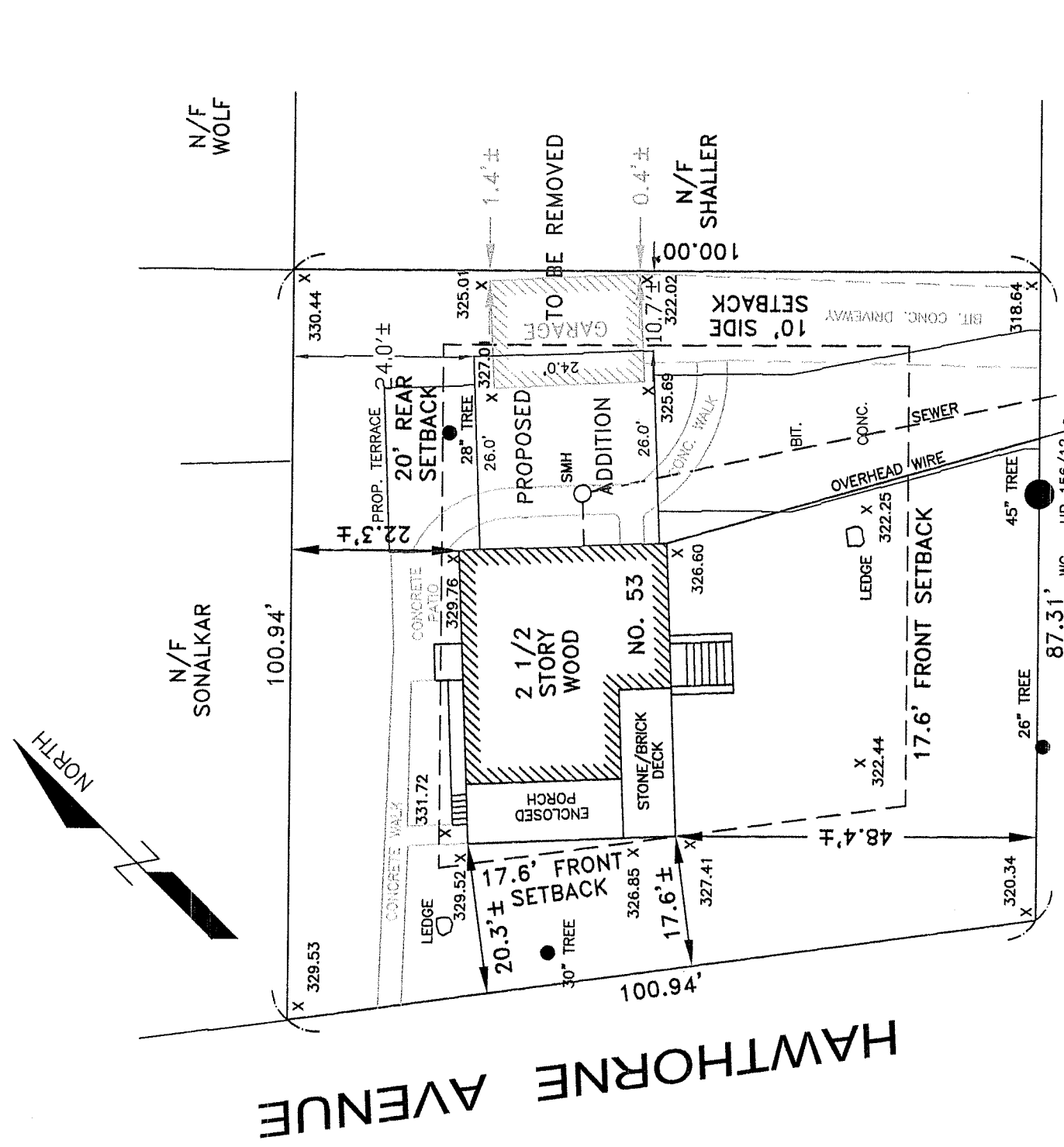
<u>GROSS FLOOR AREA (GFA) †</u>		
Accessory Building	<u>0</u>	<u>0</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>1093</u>	<u>1093</u>
1 st Floor	<u>956</u>	<u>1721</u>
2 nd Floor	<u>789</u>	<u>1513</u>
3 rd Floor	<u>0</u>	<u>0</u>
4 th Floor	<u>0</u>	<u>0</u>
5 th Floor	<u>0</u>	<u>0</u>
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)	<u>0</u>	<u>0</u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u>291</u>	<u>624</u>
All weather habitable porches and balconies	<u>0</u>	<u>0</u>
Total Gross Floor Area (GFA)	<u>3129</u>	<u>4951</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

<u>REQUIRED MINIMUM OPEN SPACE AREA</u>		
Landscaped Open Space (Sq. Ft.)	<u>4,832.00</u>	<u>3,921.00</u>
Landscaped Open Space (% of GFA)	<u>154.43%</u>	<u>79.20%</u>
Usable Open Space (Sq. Ft.)	<u>3,771.00</u>	<u>2,860.00</u>
Usable Open Space (% of GFA)	<u>120.52%</u>	<u>57.77%</u>

This worksheet applies to plans dated 03/23/2021 designed by David Whitney

Reviewed with Building Inspector: _____ Date: _____



LOT AREA = 9,412 S.F.±
EXISTING BUILDING = 792 S.F.±
EXISTING GARAGE = 292 S.F.±
EXISTING PAVEMENT + WALK = 1,110 S.F.±
PROPOSED ADDITION = 624 S.F.±
EXISTING LOT COVERAGE = 11.5%
PROPOSED LOT COVERAGE = 15.0%
EXISTING OPEN SPACE = 76.7%
PROPOSED OPEN SPACE = 73.3%

- NOTES
1. SEE DEED RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 50469, PAGE 80.
 2. SEE PLAN RECORDED IN MIDDLESEX COUNTY REGISTRY OF DEEDS IN DEED BOOK 113, PAGE 32.
 3. SUBJECT PARCEL IS LOCATED IN ZONE R1.
 4. UTILITIES SHOWN HEREON WERE TAKEN FROM AVAILABLE FIELD AND RECORD LOCATIONS AND ARE APPROXIMATE ONLY. CALL DIG-SAFE BEFORE ANY EXCAVATION.
 5. ALL CONCRETE WALKWAYS TO BE REMOVED.

(IN FEET)
1 inch = 20 ft.

CERTIFIED PLOT PLAN
IN

ARLINGTON, MA

SCALE: 1" = 20' MARCH 18, 2021

DLJ GEOMATICS

PROFESSIONAL LAND SURVEYING

276 NORTH STREET

WEYMOUTH, MA 02191

(781) 812-0457

53 PINE RIDGE RD ARLINGTON.dwg

PROFESSIONAL LAND SURVEYOR DATE

POTERE RESIDENCE

53 PINE RIDGE ROAD
ARLINGTON, MA 02476

DAVID WHITNEY

ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

DRAWING INDEX

D0.1 Site Demolition Plan
D1.0 Basement Demolition Plan
D1.1 First Floor Demolition Plan
D1.2 Second Floor Demolition Plan
D1.3 Third Floor Demolition Plan

A1.1 Site Plan
A1.0 Basement Plan
A1.1 First Floor Plan
A1.2 Second Floor Plan
A1.3 Third Floor Plan

A2.1 South Elevation
A2.2 West Elevation
A2.3 North Elevation
A2.4 East Elevation

SPECIAL PERMIT SET
3.23.21

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Site
Demolition Plan

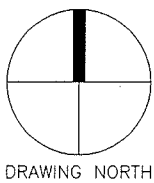
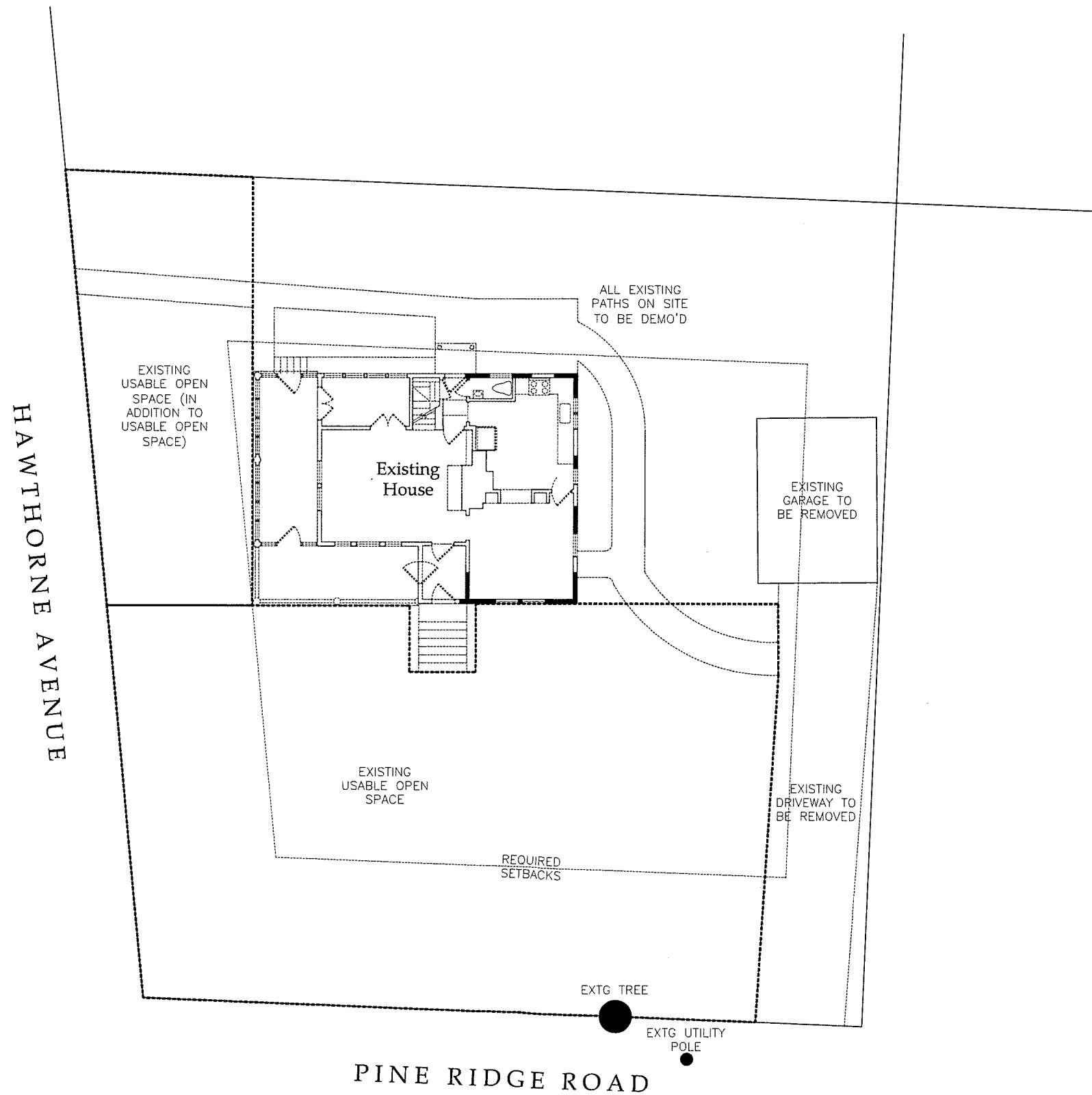
SCALE: DATE:
1/16" = 1'-0" 3.23.21

DRAWN BY: FILE:
DWW PLANS

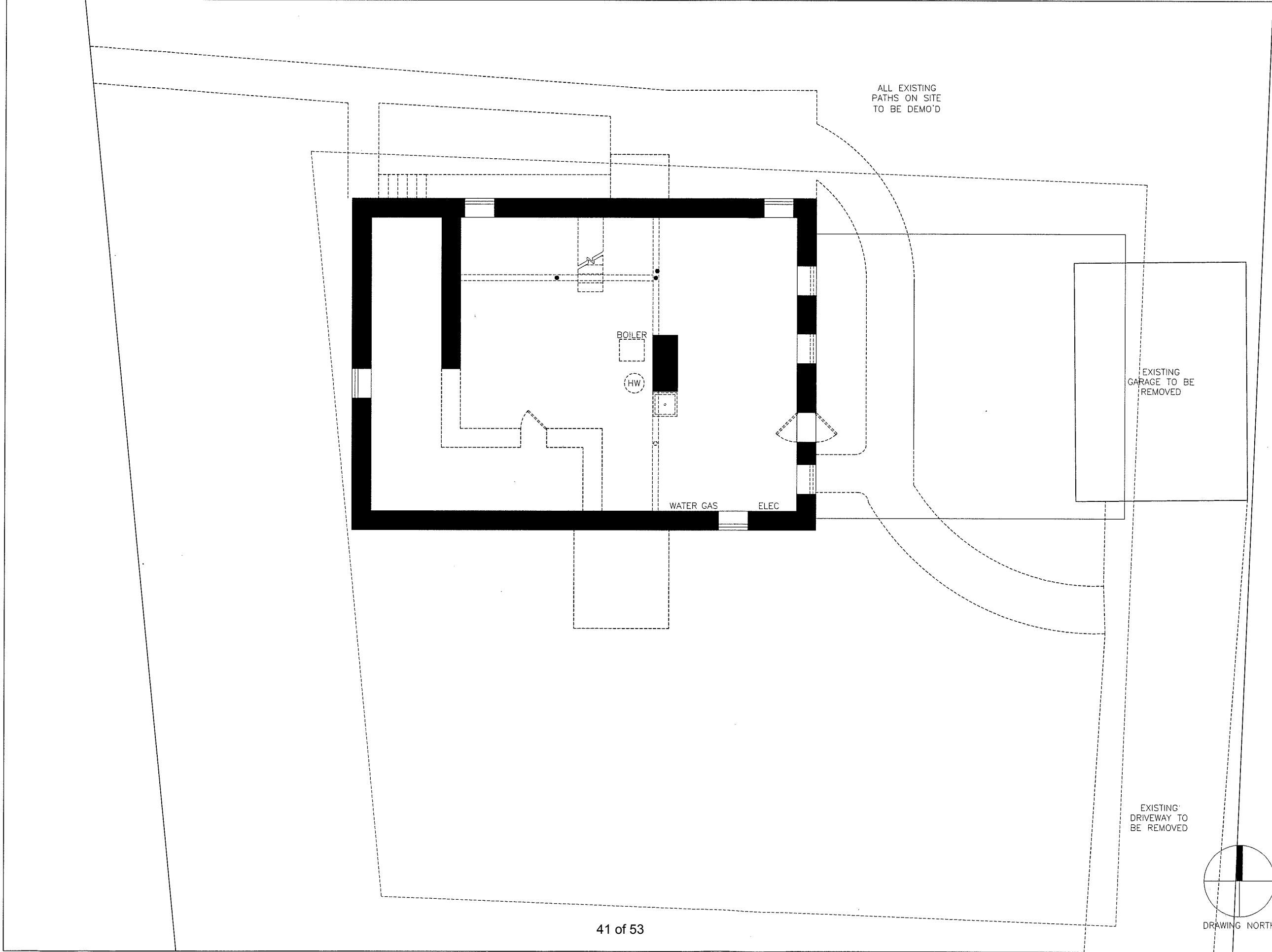
SHEET

D0.1

© DAVID WHITNEY AIA



DRAWING NORTH



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Basement
Demolition Plan

SCALE: 1/8" = 1'-0"
DATE: 3.23.21

DRAWN BY: DW
FILE: PLANS

SHEET

D1.0

© DAVID WHITNEY AIA

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

First Floor
Demolition Plan

SCALE: 1/8" = 1'-0"
DATE: 3.23.21

DRAWN BY: DWW
FILE: PLANS

SHEET

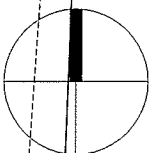
D1.1

© DAVID WHITNEY AIA

ALL EXISTING
PATHS ON SITE
TO BE DEMO'D

EXISTING
GARAGE TO BE
REMOVED

EXISTING
DRIVEWAY TO
BE REMOVED



DRAWING NORTH

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Second Floor
Demolition Plan

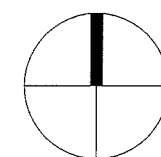
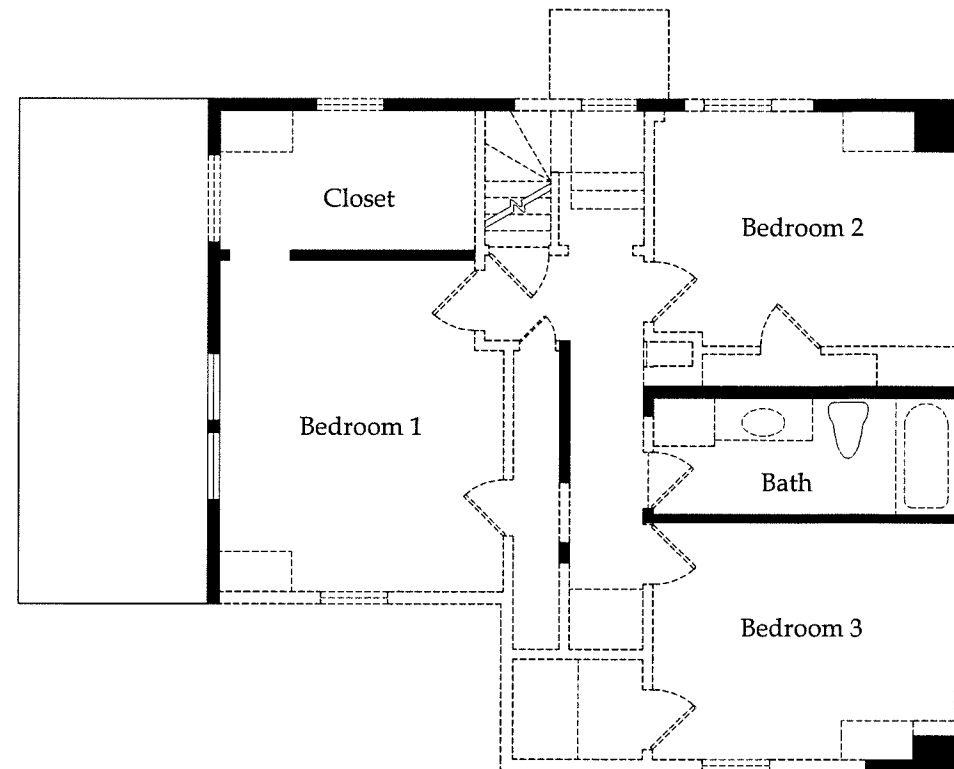
SCALE: 1/8" = 1'-0" DATE: 3.23.21

DRAWN BY: DWW FILE: PLANS

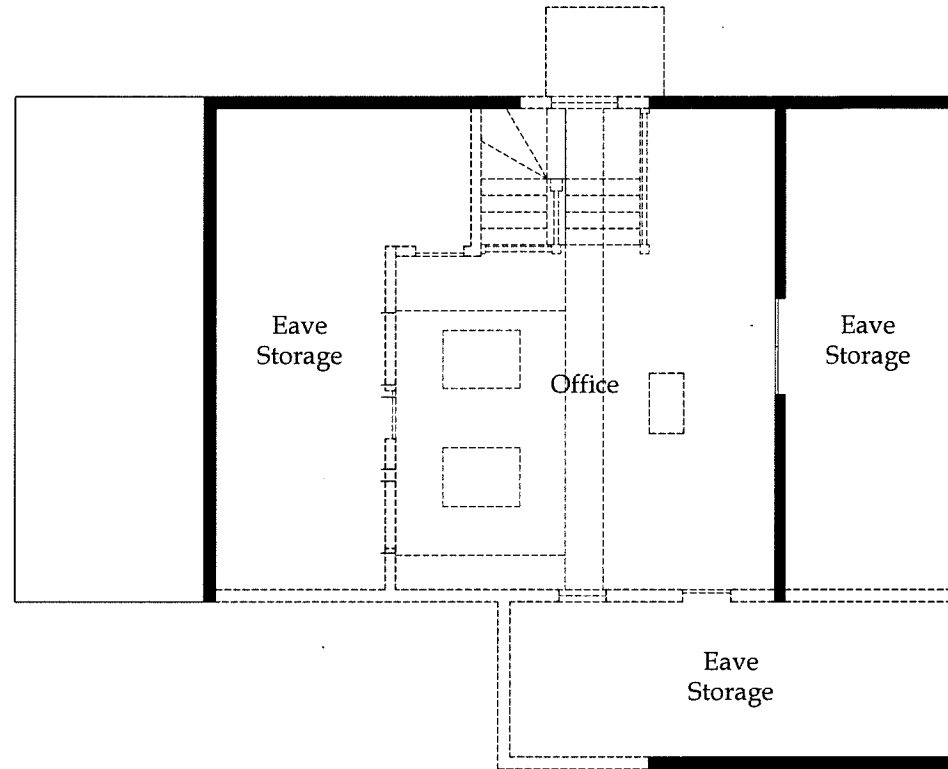
SHEET

D1.2

© DAVID WHITNEY AIA



DRAWING NORTH



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Third Floor
Demolition Plan

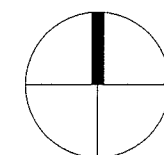
SCALE: 1/8" = 1'-0" DATE: 3.23.21

DRAWN BY: DWW FILE: PLANS

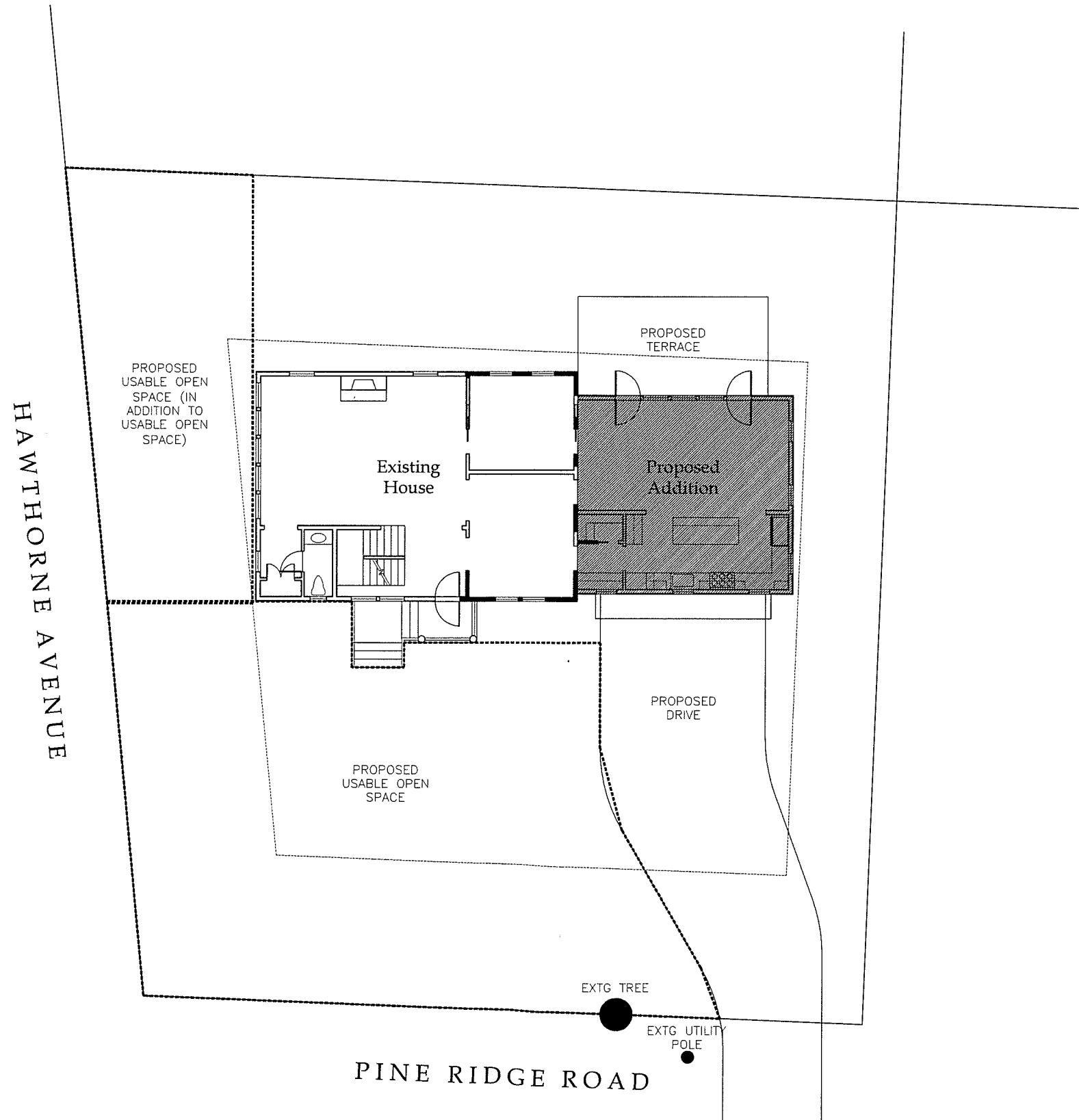
SHEET

D1.3

© DAVID WHITNEY AIA



DRAWING NORTH



DRAWING NORTH

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Site Plan

SCALE: 1/16" = 1'-0"
DATE: 3.23.21

DRAWN BY: DWW
FILE: PLANS

SHEET

A0.1

© DAVID WHITNEY AIA

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Basement Plan

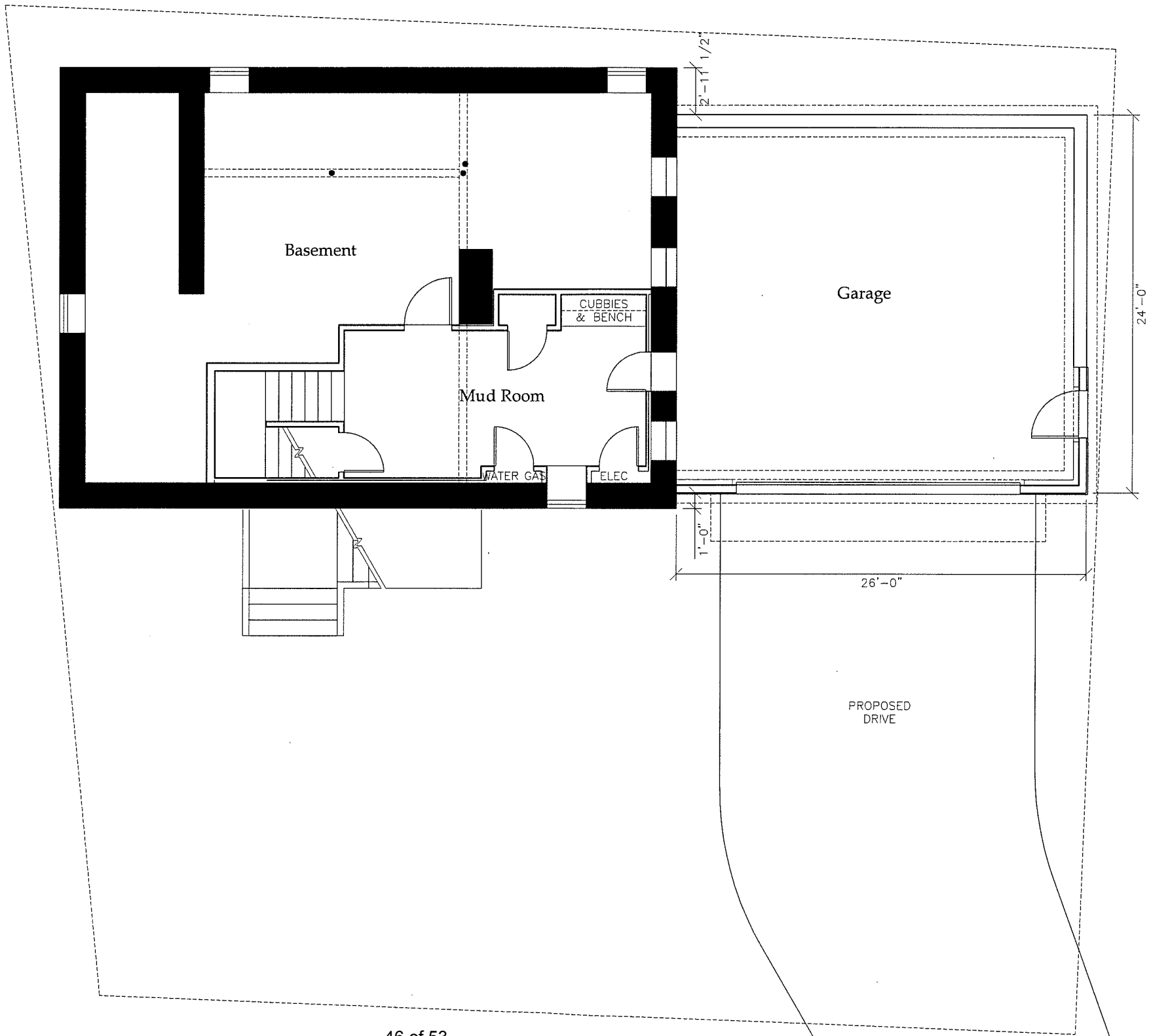
SCALE: 1/8" = 1'-0" DATE: 3.23.21

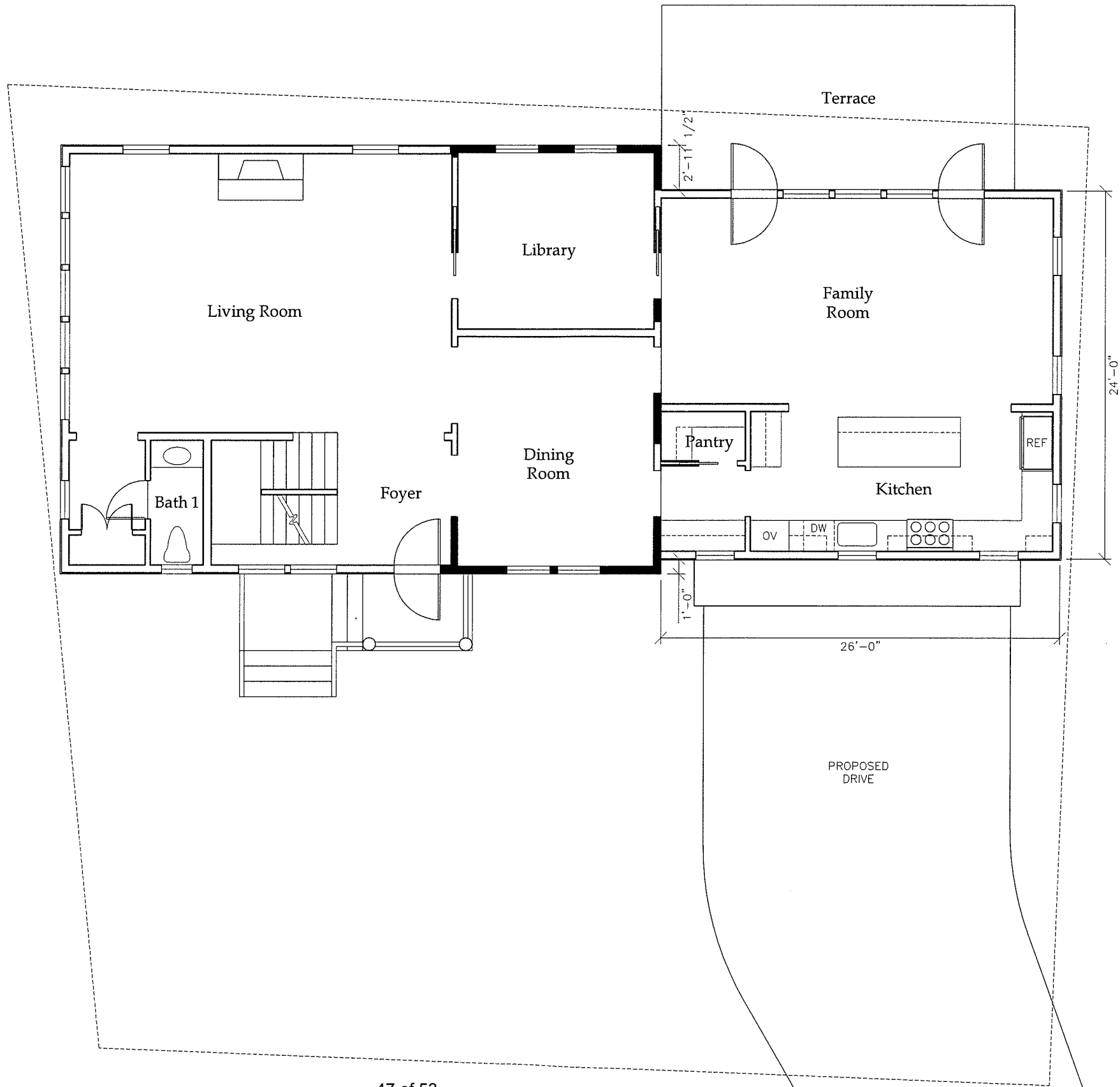
DRAWN BY: DWW FILE: PLANS

SHEET

A1.0

© DAVID WHITNEY AIA





DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

First Floor Plan

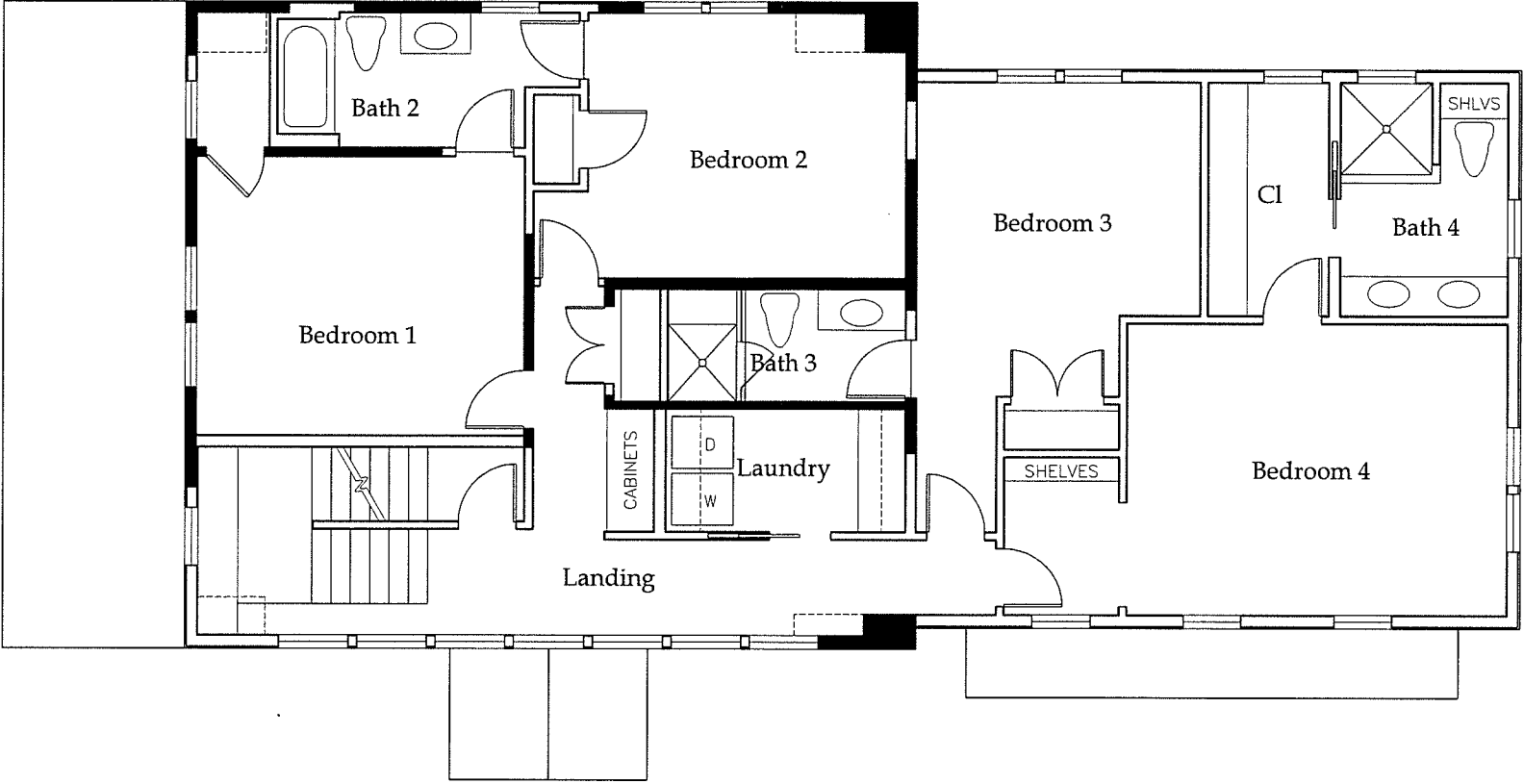
SCALE: 1/8" = 1'-0" DATE: 3.23.21

DRAWN BY: DWW FILE: PLANS

SHEET

A1.1

© DAVID WHITNEY AIA



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Second Floor Plan

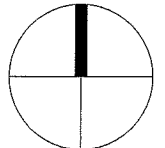
SCALE: 1/8" = 1'-0" DATE: 3.23.21

DRAWN BY: DWW FILE: PLANS

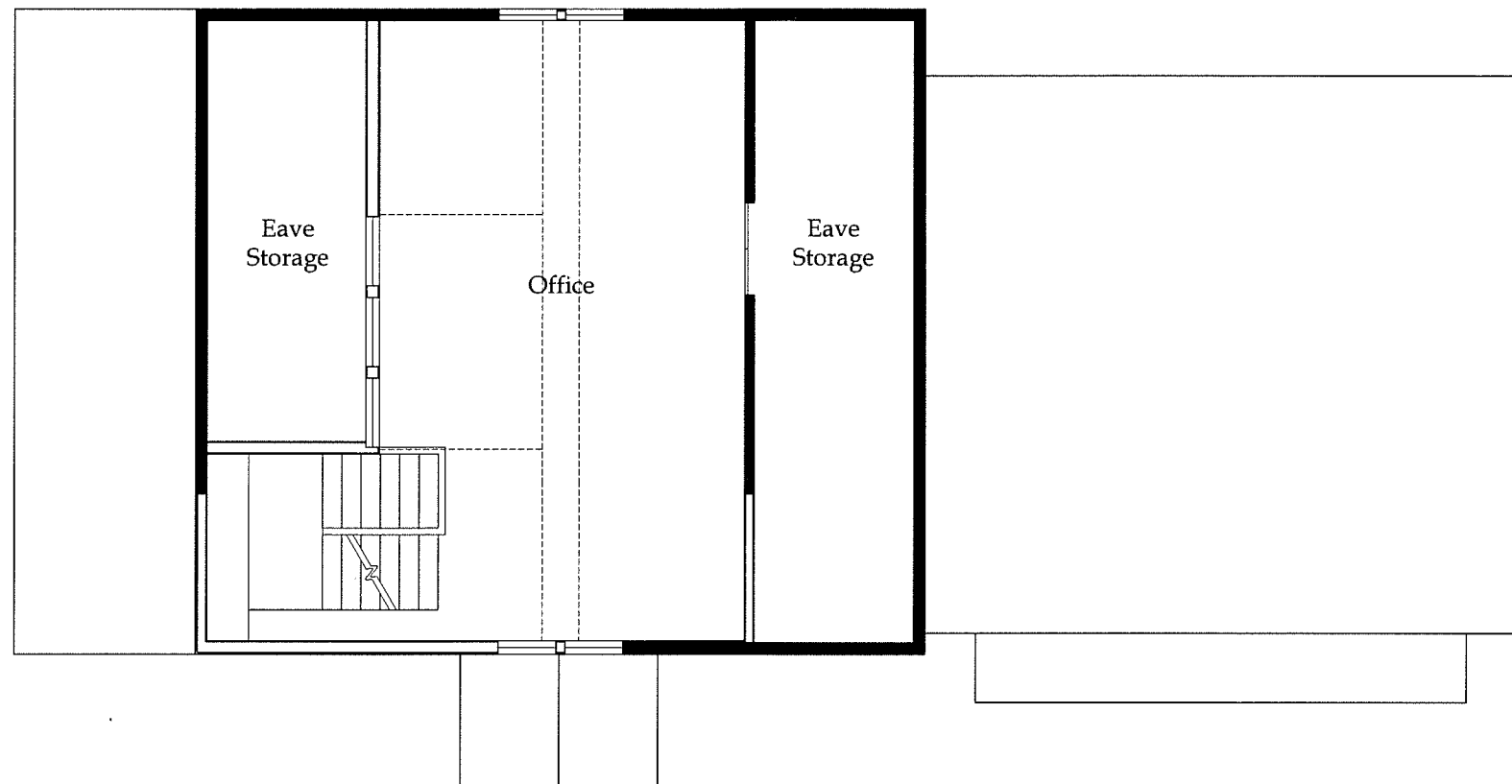
SHEET

A1.2

© DAVID WHITNEY AIA



DRAWING NORTH



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

Third Floor Plan

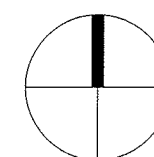
SCALE: 1/8" = 1'-0" DATE: 3.23.21

DRAWN BY: DWW FILE: PLANS

SHEET

A1.3

© DAVID WHITNEY AIA



DRAWING NORTH

DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

South Elevation

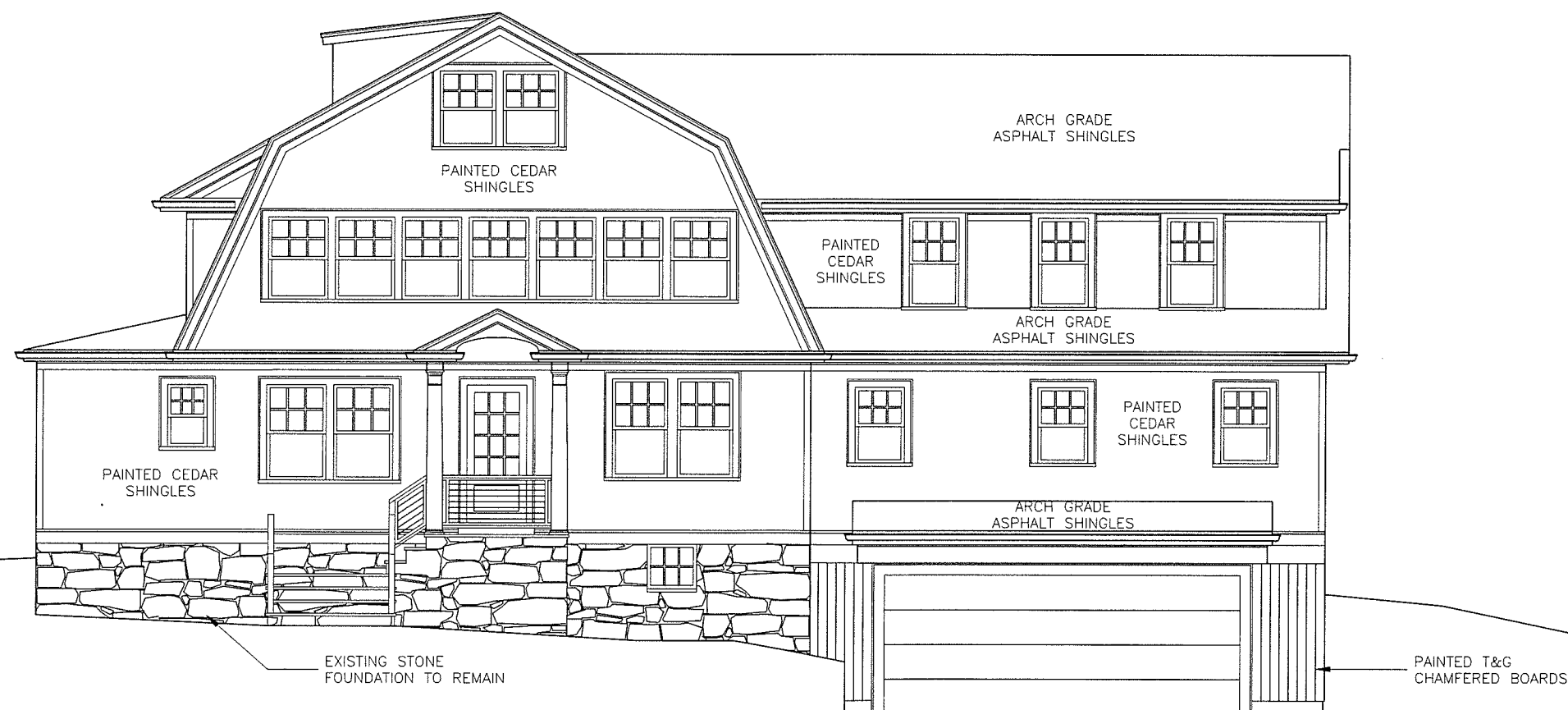
SCALE: DATE:
1/8" = 1'-0" 3.23.21

DRAWN BY: FILE:
DWW PLANS

SHEET

A2.1

© DAVID WHITNEY AIA



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

West Elevation

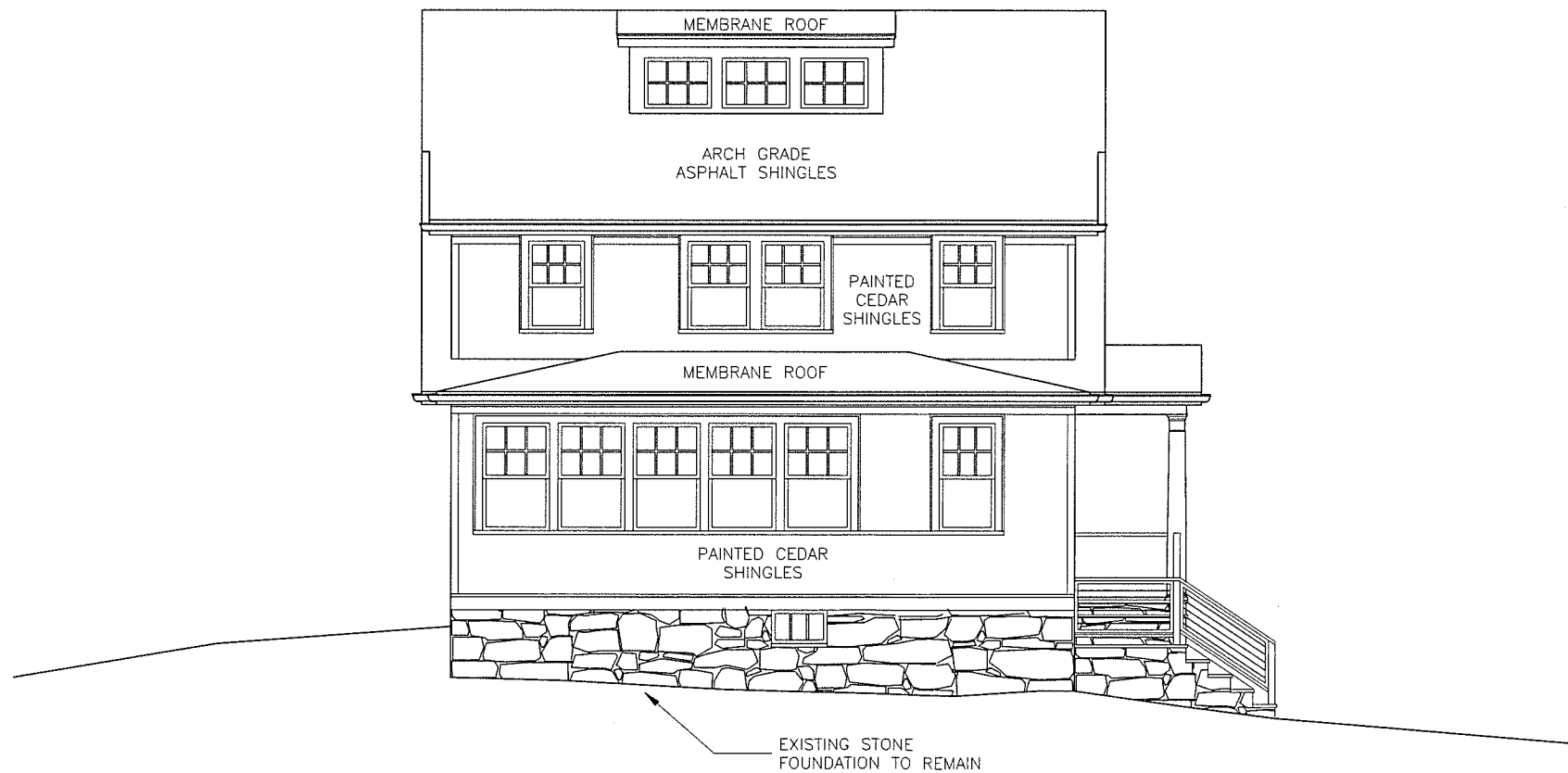
SCALE: DATE:
1/8" = 1'-0" 3.23.21

DRAWN BY: FILE:
DWW PLANS

SHEET

A2.2

© DAVID WHITNEY AIA



DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

North Elevation

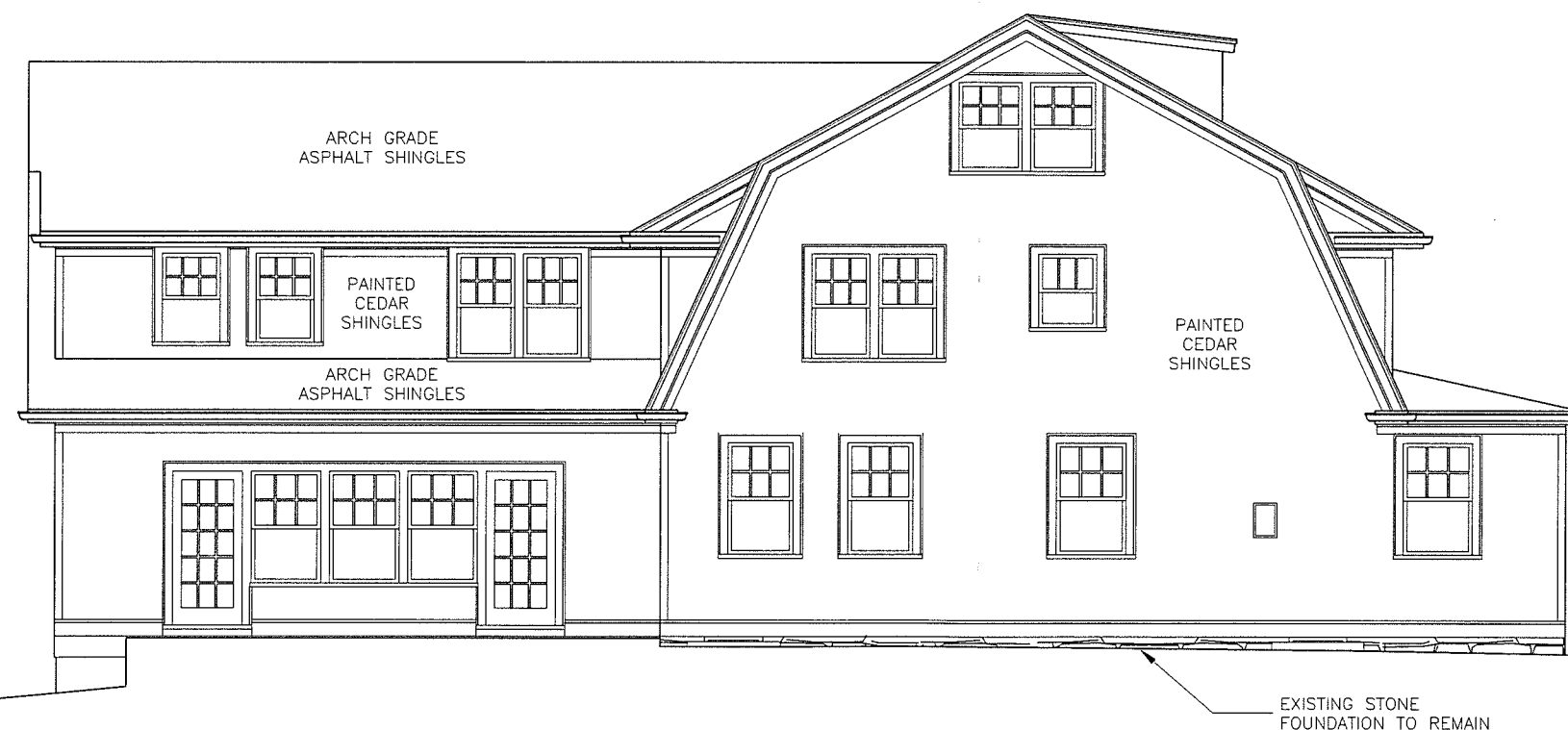
SCALE: DATE:
1/8" = 1'-0" 3.23.21

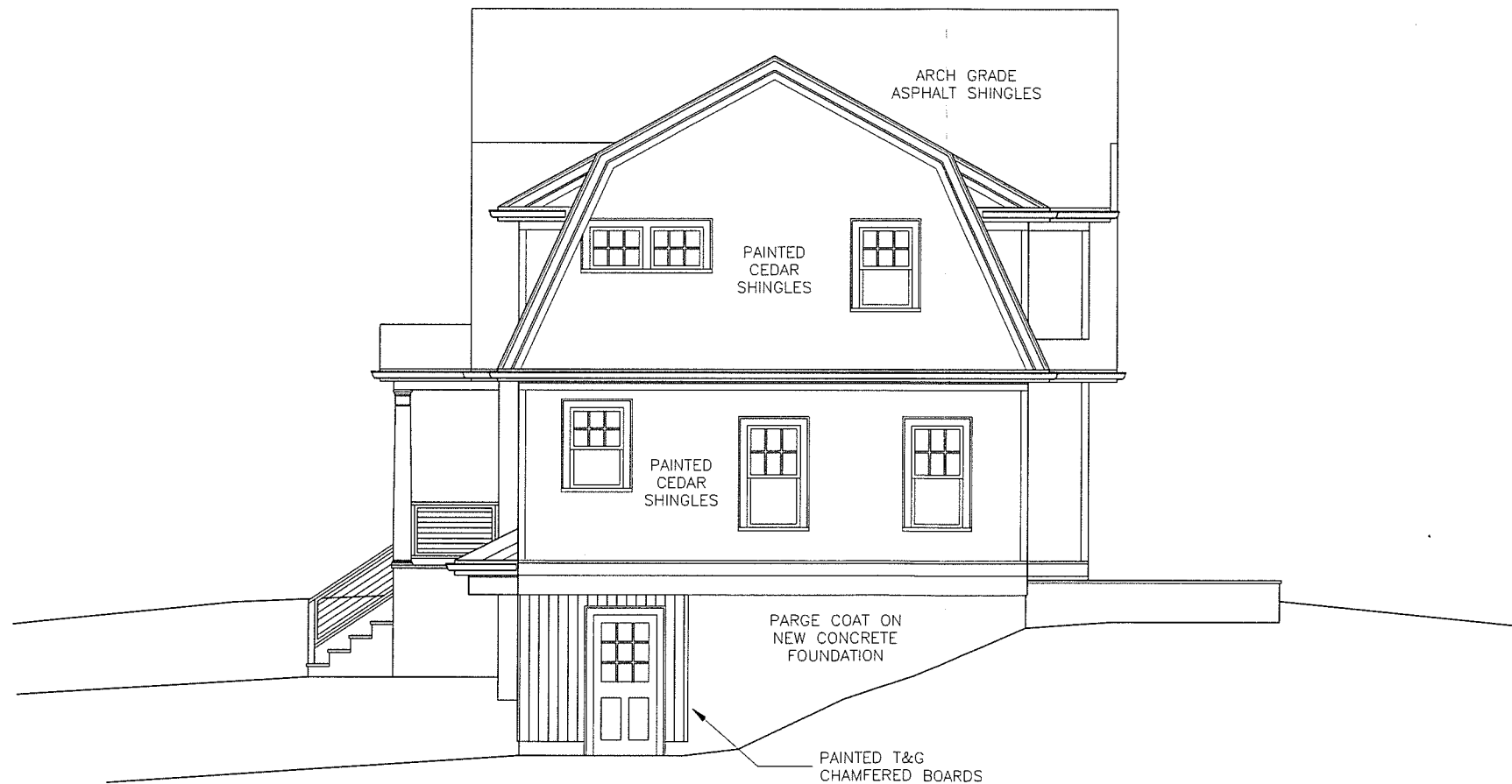
DRAWN BY: FILE:
DWW PLANS

SHEET

A2.3

© DAVID WHITNEY AIA





DAVID WHITNEY
ARCHITECT

49 LINDEN STREET
ARLINGTON, MA 02476
781 643 0759

POTERE RESIDENCE
53 PINE RIDGE ROAD
ARLINGTON, MA 02476

TITLE:

East Elevation

SCALE: 1/8" = 1'-0"
DATE: 3.23.21

DRAWN BY: DWW
FILE: PLANS

SHEET

A2.4

© DAVID WHITNEY AIA